



CITY MANAGER
Elaine Leven
CITY CLERK
August Gitschlag

City of Fraser

CENTENNIAL COMMUNITY

MAYOR
Michael Lesich
MAYOR PRO-TEM
Dana Sutherland
COUNCIL
Amy Baranski
Patrick O'Dell
Kenny Perry
Patrice Schornak
Sherry Stein

**Fraser Planning Commission Agenda
City Council Chambers
33000 Garfield, Fraser, MI 48026
Wednesday, December 4, 2024 @ 7:00 p.m.**

- 1. Call Meeting to Order / Pledge of Allegiance**
- 2. Roll Call**
- 3. Approval of Agenda – December 4, 2024**
- 4. Chairperson's Opening Remarks**
- 5. Approval of Minutes – November 6, 2024**
- 6. New Business**
 - a. Other
 - i. 2025 Meeting Calendar
- 7. Unfinished Business**
 - a. Public Hearings
 - i. SLU 24-02: 34625 Utica Road, Mister Car Wash
 - b. Site Plans/Special Land Use
 - i. SP 24-04 & SLU 24-02– 34625 Utica Road, Mister Car Wash
 - c. Driveway Expansion Text Amendments
- 8. Public Communication on Non-Agenda Items**
- 9. Monthly Report – November 2024**
- 10. Zoning Board of Appeals Member Liaison Report**
- 11. Commissioners' Comments and Items of Interest/Concern**
- 12. Adjournment.**



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**FRASER CITY PLANNING COMMISSION
CITY COUNCIL CHAMBERS
33000 GARFIELD, FRASER, MI 48026
WEDNESDAY, November 6, 2024 @ 7:00 P.M.
DRAFT**

A regular meeting of the Fraser City Planning Commission was held on Wednesday, November 6, 2024 at 7:00 p.m. in City Council Chambers, 33000 Garfield, Fraser, MI 48026.

1. CALL TO ORDER

Chair Czarnecki called the meeting to order at 7pm and led the Pledge of Allegiance

2. ROLL CALL OF COUNCIL MEMBERS

Present: Barr, Czarnecki, Farina, Keil, Meyer, Tuller, Warunek

Absent: None

Others: City Planner Sayre, City Attorney Alyssa Ericson,

3. APPROVAL OF AGENDA

Motion by Warunek supported by Keil to approve the agenda as printed.

AYES: Barr, Czarnecki, Farina, Keil, Meyer, Tuller, Warunek

NAYS:

Absent:

Motion Carried

4. CHAIR OPENING REMARKS

5. APPROVAL OF MINUTES

Motion by Farina supported by Keil to approve the minutes as presented.

AYES: Barr, Czarnecki, Farina, Keil, Meyer, Tuller, Warunek

NAYS:

Absent:

Motion Carried

**FRASER PLANNING COMMISSION MINUTES
WEDNESDAY, November 6, 2024 @ 7:00 P.M.**

6. NEW BUSINESS

a. Public Hearings – None

b. Site Plans:

i. Motion by Meyer supported by Warunek to postpone SP 24-04 & SLU 24-02– 34625 Utica Road, Mister Car Wash until the December 4, 2024 meeting.

AYES: Barr, Czarnecki, Farina, Keil, Meyer, Tuller, Warunek

NAYS:

Absent:

Motion Carried

ii. SP 24-06 – 32925 Groesbeck Highway, Fraser Optical Façade Review

Planner Sayre introduced the project and the background of the request. The applicant was present to answer questions from the board regarding material, color scheme, and final look of the façade.

Motion by Warunek supported by Farina to approve the proposed exterior facing material façade changes with the condition of revising the east front elevation with raising the masonry wall to at least the top line of the windows for longevity and the adhesive properties of the paint and submission of a revised plan to the Building Department with the changes included.

AYES: Barr, Czarnecki, Farina, Keil, Meyer, Tuller, Warunek

NAYS:

Absent:

Motion Carried

c. Other

i. Interview of JoAnne Barr for position on the Planning Commission

Motion by Farina, supported by Keil to recommend to City Council to reappoint JoAnne Barr for a position on the Planning Commission term ending December 31, 2027.

AYES: Barr, Czarnecki, Farina, Keil, Meyer, Tuller, Warunek

NAYS:

Absent:

Motion Carried

ii. Interview of Renee Meyer for position on the Planning Commission

Motion by Farina, supported by Keil to recommend to City Council to reappoint Renee Meyer for a position on the Planning Commission term ending December 31, 2027.

AYES: Barr, Czarnecki, Farina, Keil, Meyer, Tuller, Warunek

NAYS:

Absent:

Motion Carried

iii. Interview of Randy Warunek for position on the Planning Commission

Motion by Farina, supported by Keil to recommend to City Council to reappoint Randy Warunek for a position on the Planning Commission term ending December 31, 2027.

AYES: Barr, Czarnecki, Farina, Keil, Meyer, Tuller, Warunek

NAYS:

**FRASER PLANNING COMMISSION MINUTES
WEDNESDAY, November 6, 2024 @ 7:00 P.M.**

Absent:

Motion Carried

7. RETURNING BUSINESS

a. Driveway Expansion Text Amendments

Planner Sayre presented the proposed text amendments regarding driveway expansions. Discussion from the board was had. Planner Sayre will research previous approved ordinance regarding impervious surface allowance.

Speaker 1: Fraser resident spoke on their need for a driveway expansion.

8. Public Comment

None

9. Monthly Report – October 2024

10. Zoning Board of Appeals Member Liaison Report

Commissioner Farina stated there was no Zoning Board meeting last month.

11. Commissioners' Comments and Items of Interest/Concern

Commissioner Keil announced December will be his last meeting with the board.

Commissioner Warunek made a comment to Planner Sayre of a grammatical error from the review in the agenda packet.

Commissioner Farina thanked everyone who supported the fundraiser, and noted it was a great success. Also mentioned the Master Plan will possibly be needing a review for an update in 2026.

Commissioner Tuller said Go Lions!

Commissioner Meyer no comment.

Commissioner Barr no comment.

Planner Sayre reminded everyone to take the Zoning Ordinance update survey. Posted on the City's website.

Chair Czarnecki followed through with the Clerk's office regarding their badges and hasn't heard anything yet.

12. Adjournment

Motion by Keil, Meyer seconds to adjourn

AYES: Barr, Czarnecki, Farina, Keil, Meyer, Tuller, Warunek

NAYS:

Absent:

Motion Carried

TIME ADJOURNED 8:40 PM

Site Plan Review Summary

Site Plan Dated 11/01/2024
City of Fraser, Michigan

SP 24-04 & SLU 24-02



SITE ADDRESS / LOCATION

34625 & 34835 Utica Road-
03-11-31-202-002 & 03-11-31-100-049

APPROVING BODY

Planning Commission

PUBLIC HEARING DATE

December 4, 2024

STAFF REPORT CONTACT INFORMATION

Building Clerk – Kayshe Johnson– (586) 293-3100 ext. 154
Planning Consultant – Lauren Sayre, AICP – (586) 293-3100 ext. 153

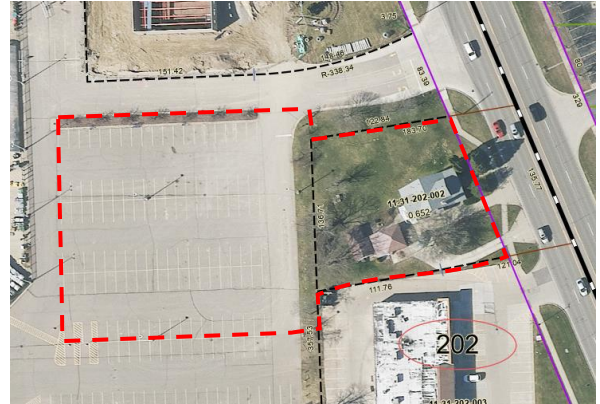
APPLICANT / PROPERTY OWNER

Mister Car Wash, Applicant
Good Will Co. Inc., Property Owner

BRIEF SUMMARY OF REQUEST:

The applicants, Mister Car Wash, is proposing to construct a new automatic car wash with exterior vacuum stalls at 34625 Utica Road. This project will require the use of part of Meijer's property (34835 Utica Road). Meijer's has already received the necessary approvals for a parking reduction of 80 spaces. The lots have not yet been split or combined, but this can be done administratively after site plan approval.

The exterior vacuum stalls require a special land use as they are considered an Open Air Business.



	SITE ZONING + LAND USE	SURROUNDING ZONING + LAND USE	SITE IMPROVEMENTS	SIZE OF SITE + FRONTAGE
EXISTING SITE INFORMATION:	CG – General Business District, Vacant Land	Other Properties zoned CG, Commercial General (North, South and West) and CN, Commercial Neighborhood zoned (East, across Utica Rd)	New express tunnel car wash with associated parking and outdoor vacuums	Total site area = 1.44 acres Approximately 139.42 ft. frontage on Utica Road

Compatibility with Zoning Ordinance

The CG general business district is designed to provide for a wide diversity of business activities which are predominantly, but not necessarily, totally retail in character. In addition to retail uses, a number of other activities, usually requiring considerable land area and access to major or secondary thoroughfares, are permitted. Uses in this district normally must have good automobile accessibility but should not cause congestion on adjacent thoroughfares. Auto car washes are a permitted use in the CG district, however having vacuums outside of the building, Open Air Business, requires a special land use.

Compatibility with Master Plan

The Master Plan designates the Future Land Use of this area and the surrounding parcels for General Commercial. General Commercial areas are designated for higher intensity commercial uses. In the City of Fraser, a large part of the Community Commercial land uses is concentrated along Groesbeck Highway and Utica Road Corridors. In these areas, the majority of the General Commercial structures include big box stores, shopping malls, restaurants, highly frequented community nodes, and retail centers. General Commercial areas are planned to provide a transition or buffer from industrial areas to residential areas. Additionally, General Commercial land uses should be designed to support the existing stable industrial businesses. Typically, General Commercial areas are located on the outer fringes of the City.

PLANNER RECOMMENDATION

- ☐ APPROVE
- ☒ APPROVE WITH CONDITIONS
- ☐ REVISE AND RESUBMIT
- ☐ DENY

ATTACHMENTS

- ☒ SUBMITTED PLANS
- ☒ APPLICATION
- ☒ PUBLIC HEARING NOTICE
- ☒ PROOF OF OWNERSHIP
- ☐ PUBLIC COMMENTS
- ☒ AGENCY COMMENTS
- ☒ REVIEW AGAINST ZONING STANDARDS
- ☐ MISC.

SITE PLAN REVIEW

The underlined items indicate outstanding or non-compliant requirements.

1. CG, General business district (Section 32-135)

a. Zoning and Land Use (Section 32-135 (1))

The applicant, CWP West, LLC, proposes to construct an automatic car wash on the vacant land approximately 1.43 acres in size.

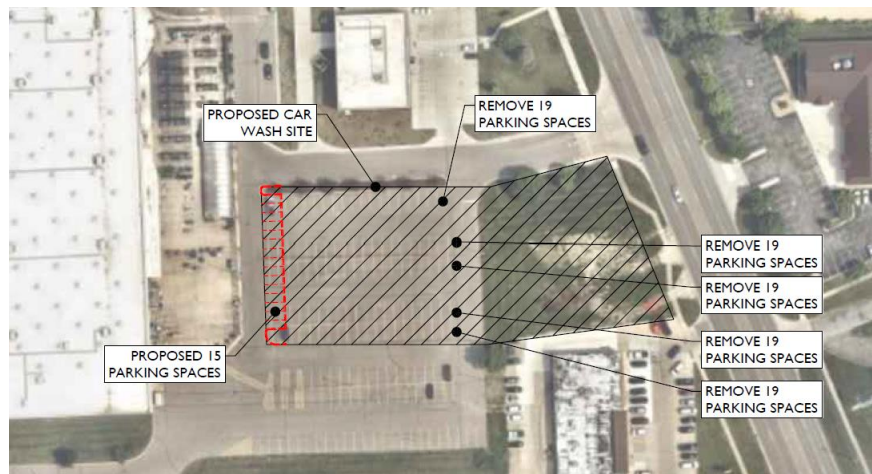
The subject site is zoned CG, Commercial General Business District. The CG general business district is designed to provide for a wide diversity of business activities which are predominantly, but not necessarily, totally retail in character. In addition to retail uses, a number of other activities, usually requiring considerable land area and access to major or secondary thoroughfares, are permitted. Uses in this district normally must have good automobile accessibility but should not cause congestion on adjacent thoroughfares. Auto Laundries (car wash) when completely enclosed in a building are permitted uses in the CG district (32-135 (1) c). The exterior vacuums require a special land use as they are considered an Open-Air Business.

The proposed use of a car wash aligns with the intent of the CG District. A Special Land Use request has been submitted for review.

b. Dimensional Requirements (Section 32-135 (3))

Requirement	CG District Requirements	Proposed	In Compliance
Minimum Lot Size	12,000 sq. ft.	62,726.4 sq. ft.	Yes
Minimum Lot Width	80 ft.	139.42 ft. at narrowest point	Yes
Front Yard Setback	110 ft.	>110 ft.	Yes
Front Yard Parking Setback	70 ft.	> 70 ft.	Yes
Side Yard Setback	20 ft.	25.1 ft.	Yes
Rear Yard Setback	n.a.	20 ft.	Yes
Building Height	2 stories, 30 ft.	30	Yes

We also note that the proposed property line to the south includes 17 parking spaces from the Meijer parcel. The applicant has indicated they intend to enter a cross access parking easement agreement with Meijer.



2. Off-Street Parking and Loading Requirements (Article VI Section 32-91 through 32-95 and 32-97)

a. Parking

Parking Requirement	32-93(5)(c) Auto Washes, high speed commercial Requirements	Proposed	In Compliance
Employee parking	3 spaces	5 spaces	Yes
Stacking Spaces	24 stacking spaces behind point-of-sale station	24 stacking spaces behind point-of-sale station	Yes
Drying Lane	1 – 50ft drying lane	78 ft	Yes
ADA Parking	1 Space	1 Space	Yes

Per Sec. 32-94(4), a ninety-degree parking pattern requires one of the following configurations.

Space Width	Space Length	Maneuvering Width	Two Tiers of Parking & One Maneuvering Lane
9.0	20 feet	24 feet	64 feet
9.5 feet	20 feet	22 feet	62 feet
10 feet	20 feet	20 feet	60 feet

The site plan indicates 9x18 foot stalls for employees, and 13x18 foot stalls for the vacuum parking stalls, with a 24-foot maneuvering lane. However, Sec 32-94(8) specifies that In any area where front-end parking abuts a curbed landscaped area or a raised sidewalk having a minimum width of at least seven (7) feet, the minimum parking stall depth of twenty (20) feet (as otherwise specified herein) may be decreased by up to two (2) feet in depth in order to allow for a vehicle to overhang such landscaped area or such sidewalk. In no case shall the parking stall depth be decreased to allow a vehicle to overhang a required parking setback or property line.

The proposed employee parking is 18 feet in length and meets the curbed landscape criteria for a 2 ft length reduction. The proposed vacuum stall parking spaces abut a 7 ft wide sidewalk meeting the criteria for the 2-foot length reduction, and therefore are compliant.

b. Ingress / Egress

Section 32-94(15) states that “adequate ingress and egress to the parking lot by means of clearly limited and defined paved drives shall be provided for all vehicles. All parking areas shall be provided with an entrance and exit from the abutting public thoroughfare. Such entrance and exit may be combined as one, which shall be thirty (30) feet in width.”

The proposed plan shows one point of ingress that is 47 feet wide. The second point of ingress and egress (east driveway) is 30 feet wide. This item is compliant.

c. Loading Spaces

Section 32-97 specifies that one (1) loading space that has an area ten (10) feet by fifty (50) feet, with fifteen (15) feet height clearance shall be provided.

Section 32-131(i) specifies that loading shall only be provided in rear yards, but side yard loading may be permitted by Planning Commission when such space and loading facilities would not interfere with parking and circulation, either vehicular or pedestrian, and would not be detrimental to any nearby residential district or use. Loading may not be located closer than forty-five (45) feet to any rear property line adjacent to a property line.

The applicant indicated that no loading space has been provided as they claim lack of receipt or distribution of vehicles, materials or merchandise. We find that there will be receipt of materials to operate the car wash, and therefore, the loading must be specified. For buildings with a gross floor area between 1,401 and 20,000 square feet, 1 loading space is required. The building is 6,530 square feet and will require 1 off-street loading space.

Given the configuration and the nature of the site, side loading may be required at the discretion of Planning Commission.

3. Landscaping (Section 32-83, 84, 88)

Requirement	Requirements	Proposed	In Compliance
Interior Parking Lot Landscaping	One (1) tree for each six (6) parking spaces 3 trees required	16 trees	Yes
Frontage Landscaping	One (1) tree shall be planted for each thirty (30) linear feet public right-of-way frontage. $139.42/30 = 5$ trees	4 trees	<u>No</u>

4. Signs (Section 32-85)

The applicant has not indicated any signage. Separate sign permits will be required before any signage is approved.

5. Architecture and Building (Section 32-131(1))

The zoning ordinance requires that, in the commercial districts, *"the exterior of all buildings hereafter erected shall be constructed of aesthetically pleasing brick and/or stone building materials."*

The building elevations provided by the applicant show that the exterior of the building will be composed of brick veneer, stone and EIFS, with accents of aluminum panels.

Per Sec. 32-131, *"Other durable, decorative building materials may be approved by the planning commission in instances where the character and style of the proposed structure warrants special consideration."* The Planning Commission shall decide if the EFIS is acceptable.

6. Screening (32-82)

The subject site does not abut residential uses or a use district other than CG; therefore, no screening is required.

7. Trash Enclosure (Section 32-131 (e))

There is a proposed dumpster and dumpster enclosure on the north side of the subject site. The dumpster screening is acceptable, and the applicant has provided information relative to the enclosure surrounding the dumpster.

8. Lighting (Section 32-86)

The applicant submitted a photometric plan showing the proposed configuration of lighting; however, it is not compliant with Sec. 32-86. The maximums illumination levels are provided in Sec. 32-86(6) for commercial uses.

Illumination of	Maximum Illumination in footcandles
General	0.5
Driveway	4.0
Parking	4.0
Walks	2.0
Protective	3.0
Building	5.0
Loading Areas	1.0

The illumination level exceeds this maximum illumination levels in several areas throughout the site and reaches a maximum of 32.3 footcandles. The applicant is seeking a variance for the lighting. **A variance must be obtained, or a compliant photometric plan must be submitted.**

9. Reviewing Entities

The site plan is subject to review by all of the applicable departments and jurisdictions deemed necessary to ensure the health, safety, and welfare of the community.

Public Safety had no concerns.

Engineering provided a review, which is attached after the Planning Report.

Please note that the lots have not been split and combined yet. This can be done administratively but should be a condition of approval if that is the direction Planning Commission takes.

SPECIAL LAND USE REVIEW

The applicant, CWP West, LLC, proposes to construct an automatic car wash on the vacant land with exterior vacuum stalls that are considered an Open Air Business requiring a special land use approval. The special land use is for the vacuum use only, not the carwash.

Standards for Special Land Use Approval

Section 32-152 establishes the purpose and procedures for Fraser's special land use approval process. The Planning Commission is the final decision authority for special land uses in Fraser. The Planning Commission must first conduct a public hearing according to Michigan Zoning Enabling Act requirements before they decide. Section 32-153(1) contains standards for special land uses. The Planning Commission must believe the proposal meets each standard to approve the application. Our comments follow each standard.

- a. *The proposed use shall be of such location, size and character that it will be in harmony with the appropriate and orderly development of the surrounding neighborhood and applicable regulations of the zoning district in which it is to be located.*

Applicant Comments	With the exception of the exterior vacuum stalls, the proposed car wash use is a permitted use in the underlying zoning. The site is located within a commercial area and along a commercial thoroughfare and a car wash is consistent with the area businesses. The site is located along a commercial corridor with commercial properties surrounding the parcel.
Planner Comments	The use, including the vacuums, is consistent with nearby development, as there are many auto-centric uses in the vicinity including an auto parts store and several drive through businesses.

- b. *The proposed use shall be of a nature that will make vehicular and pedestrian traffic no more hazardous than is normal for the district involved, taking into consideration vehicular turning movements in relation to routes of traffic flow, proximity and relationship to intersections, adequacy of sight distances, location and access of off-street parking and provisions for pedestrian traffic, with particular attention to minimizing pedestrian-vehicle interfaces in residential districts.*

Applicant Comments	The site is an outlet in a larger commercial development and will utilize an existing shared drive to avoid adding additional driveway connections to Utica Road. Internal site stacking is provided to control vehicle overflow into the shared drive.
Planner Comments	We do not anticipate that this use will make vehicular or pedestrian traffic more hazardous than is normal for this location.

- c. *The proposed use shall be designed as to the location, size, intensity, site layout and periods of operation of any such proposed use to eliminate any possible nuisance emanating therefrom which might be offensive to the occupants of any other nearby uses permitted, whether by reason of dust, noise, fumes, vibration, smoke, or lights.*

Applicant Comments	The hours of operations will be consistent with the surrounding commercial users. The site layout and screening are designed to minimize disruption to adjoining properties. Lighting and noise levels will adhere to City of Fraser ordinance requirements and will be consistent with the general commercial nature of Utica Road.
Planner Comments	While some landscaping is proposed, the applicant does not propose any screening for the vacuum areas. The proposed height of the vacuums is 11 feet and 10 inches, which is less than the building height. The proposed hours are 7am to 8pm. We note that the noise levels may be disruptive to neighboring properties, but that the noise would likely be no more disruptive than the existing noise from the proximity to major thoroughfares, such as Utica Road.

- d. *The proposed use shall be such that the proposed location and height of buildings or structures and location, nature and height of walls, fences and landscaping will not interfere with or discourage the appropriate development and use of adjacent land and buildings or unreasonably affect their value.*

Applicant Comments	The size, height, and nature of the proposed building is consistent with the surrounding commercial uses. Proposed landscaping and screening will adhere to zoning ordinance requirements.
Planner Comments	We do not believe that the use will negatively impact property values or discourage appropriate development, but we are unaware of the vacuum height and do not know if it will be consistent with the zoning height requirements for buildings in the CG district.

- e. *The proposed use shall relate harmoniously with the physical and economic aspects of adjacent land uses as regards prevailing shopping habits, convenience of access by prospective patrons, continuity of development, and need for particular services and facilities in specific areas of the city.*

Applicant Comments	The proposed use is consistent with the commercial corridor nature of Utica Road and with the surrounding commercial use along Utica Road. The proposed use provides convenient access for vehicle wash services for pass-by users and the residents of the City of Fraser.
Planner Comments	The use, including the vacuums, is consistent with nearby development, as there are many auto-centric uses in the vicinity including an auto parts store and several drive through businesses. This location would serve the Meijer site, as well as the subsequent outlot developments. Additionally, it is located on one of Fraser's main commercial corridors.

f. *The proposed use is necessary for the public convenience at the proposed location.*

Applicant Comments	The proposed use is consistent with the commercial and thoroughfare nature of Utica Road and provides easy access along the route of travel for a vehicle centric use such as a car wash.
Planner Comments	The proposed use may be necessary for the public convenience at the proposed location. While there are other car washes along Utica Road, there are no vacuums associated with them, so that use may be considered necessary.

g. *The proposed use is so designated, located, planned and to be operated that the public health, safety and welfare will be protected.*

Applicant Comments	The site layout is designed for safe movements of vehicles to and around the site. The site layout and street access permit emergency vehicle access by predictable means. The proposed layout uses an existing shared drive to avoid adding an additional driveway connection to Utica Road.
Planner Comments	We believe that the public health, safety and welfare are substantially protected. The proposed site layout currently accommodates pedestrian safety and circulation, vehicular movement both on- and off-site. We do not believe the proposed use would alter this.

h. *The proposed use shall not cause substantial injury to the value of other property in the neighborhood in which it is to be located and will not be detrimental to existing and/or other permitted land uses in the zoning district.*

Applicant Comments	The proposed use is consistent with the commercial area along Utica Road and site and surrounding zoning and is not detrimental to existing or other permitted land use in the zoning district.
Planner Comments	We believe that the proposed use will not cause substantial injury to the value of other property in the neighborhood in which it is to be located and will not be detrimental to existing and/or other permitted land uses in the zoning district.

RECOMMENDATION

Site Plan: We reviewed the plans provided to the City dated August 12, 2024 to the site plan review standards applicable to the proposed development in the CG general commercial zoning district. If Planning Commission is comfortable recommending approval, we recommend approval is conditioned upon the above conditions as well as the following.

1. *The necessary lot splits and lot combinations are administratively achieved.*
2. *A cross access parking easement agreement, in a form satisfactory to the City Attorney, for the use of the parking areas must be obtained between the applicant and the Meijer property (34835 Utica).*
1. *A variance for the lighting to exceed the maximum illumination levels must be obtained or a compliant photometric plan must be submitted.*
3. *The EFIS building material must be approved by Planning Commission.*
4. *An additional frontage landscaping tree is required along the front setback of the proposed site.*
5. *The loading space must be identified, and any side loading configuration must be approved by Planning Commission*

Special Land Use: Regarding the Special Land Use review, so long as Planning Commission is satisfied that the Special Land Use Standards have been met, we recommend approving the Special Land Use for the outdoor vacuums which are considered Open Air Business.

We look forward to reviewing these findings and recommendations with you. If you have further questions, please do not hesitate to contact us.

Respectfully,

McKENNA



Lauren Sayre, AICP
Associate Planner



Alicia Warren
Assistant Planner

Cc: City of Fraser: Building Official, City Attorney, City Engineer



City of Fraser

Building & Code Enforcement Department

NOTICE OF PLANNING COMMISSION HEARING

NOTICE IS HEREBY GIVEN that the City of Fraser Planning Commission will meet on **Wednesday, December 4, 2024** at the City of Fraser Municipal Complex, Council Chambers located at 33000 Garfield Road, Fraser, Michigan for the purpose of conducting a Public Hearing and making a decision on the following request:

REQUEST: 24-02 SLU – MISTER CAR WASH

BY REASON OF: SEC. 32-135(2)g. OF THE FRASER ZONING ORDINANCE

PURPOSE OF REQUEST: TO OBTAIN SPECIAL LAND USE APPROVAL TO ALLOW AN OPEN AIR BUSINESS USE ANCILLARY TO AN AUTO LAUNDRY (CAR WASH) IN A "CG-COMMERICAL GENERAL" ZONING DISTRICT. THE PROPOSED OUTDOOR VACUUMS ARE CONSIDERED THE OPEN AIR BUSINESS REQUIRING SPECIAL LAND USE APPROVAL.

PROPERTY IN QUESTION: 34625 AND 34835 UTICA ROAD, FRASER, MI 48026

NOTICE IS FURTHER GIVEN that any interested person may appear and comment upon the proposed request in person, or by agent or attorney during the public hearing to be held on the date and time of the meeting. Pertinent information relating to the application may be reviewed at the Fraser Building Department during regular business hours which are 8:00 a.m. to 4:30 p.m., Monday through Friday at the Fraser City Hall, 33000 Garfield Road, Fraser, Michigan. Questions regarding the requested variance can be directed to the Planner, c/o Building Department at 586-293-3100. Written comments may be submitted to the Fraser Building Department at 33000 Garfield Road, Fraser, Michigan 48026, or email to the Building Department at zoning@micityoffraser.com up to 4:30 p.m. of the meeting date.

The City of Fraser will provide necessary, reasonable auxiliary aids and services to individuals with disabilities at the meeting upon four (4) days' notice to the Building Department at the phone number set forth above.

33000 Garfield • Fraser, Michigan 48026 • (586) 293-3100 option 2 • Fax: (586) 293-4717

City website: "www.micityoffraser.com" • Building Department email: "buildingdept@micityoffraser.com"



ANDERSON, ECKSTEIN & WESTRICK, INC.

CIVIL ENGINEERS - SURVEYORS - ARCHITECTS

Shelby Township - Roseville - Livonia

586.726.1234 | www.aewinc.com

October 29, 2024

Bob Logan, Building Department Manager
City of Fraser
33000 Garfield Road
Fraser, Michigan 48026

Reference: Site Plan Review

34625 Utica Road – Mister Car Wash
AEW Project No. 0190-0528

Dear Mr. Logan:

We have completed our review of the above referenced site plan and offer the following comments:

Utilities

1. An existing 12" water main is located under the southbound lanes Utica Road and is available for service to the site. Site plan should be updated to reflect correct location.
2. There is currently no sanitary sewer along the frontage of this property. Sanitary sewer will need to be extended across the frontage of the proposed outlot to a point inside the northerly property line. It is not anticipated that future sewer extension will be necessary to the south as all parcels south currently have access to public sewer.
3. Storm sewer is currently available on the proposed outlot site as part of the overall Meijer drainage system. This system can be utilized by the developer with appropriate maintenance agreements and easements as may be required.
4. The proposed site plan appears to be increasing the volume and rate of stormwater runoff. While this parcel is served by regional detention, additional drainage area outside of the original drainage district would be directed to the regional facility. Therefore, additional on-site detention and water quality treatment measures may be required if the existing storm outlet is re-used. Applicant will need to provide detailed calculations for review during the engineering phase before a final determination can be made.
5. Storm sewer is available along Utica Road if the developer cannot execute the necessary agreements with Meijer. This outlet would require that detention be provided and storm water quality measures included for final engineering approval.

General

1. Existing driveways in the Utica Road right-of-way will need to be removed.



Bob Logan
October 29, 2024
Page 2

2. Existing sidewalk in the Utica Road right-of-way should be removed and replaced 1' inside of the right-of-way line to current ADA standards.
3. An ADA compliant pedestrian access route shall be provided from the public right-of-way to the building.
4. Preliminary grading plan suggests that surface drainage is directed off-site. Surface run-off shall be maintained on-site to the extent feasible. This can be reviewed during engineering phase.
5. Prior to issuance of the Building Permit, the petitioner will be required to submit final engineering plans for our review. The City of Fraser Standard Details for Paving and Storm Sewer shall be included in final engineering plans. Digital copies are available from our office.
6. Prior to issuance of a Building Permit, a soil erosion permit or waiver will need to be obtained from Macomb County Public Works Office.
7. Prior to issuance of a Building Permit, a permit or waiver will need to be obtained for the Macomb County Department of Roads for all work in the Utica Road right-of-way.
8. Prior to issuance of a Building Permit, a permit will need to be obtained from Michigan Department of Environment, Great Lakes and Energy (EGLE) for the construction of a sanitary sewer.
9. A cross-access agreement must be executed between the proposed outlot and Meijer parent parcel.
10. A storm water maintenance agreement must be executed between the proposed outlot and Meijer parent parcel.

We're available to answer any questions related to the review comments.

Sincerely,



Michael A. Vigneron, PE
Vice President | Director of Engineering

cc: Lauren Sayre, McKenna
Rob Barrett, DPW Superintendent

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Reviews\SitePlanReview_241029.docx



CONSULTING. ENGINEERING. CONSTRUCTION.

November 1, 2024

City of Fraser
Planning and Zoning Department
33000 Garfield Road
Fraser, MI 48026

Subject: Special Land Use - Mister Car Wash
Applicant: CWP West, LLC

The site plans were updated in accordance with the review comments from McKENNA (October 7, 2024) and from Anderson, Eckstein & Westrick, Inc. (AEW) (October 29, 2024) provided as part of the planning commission agenda packet. The comments and responses are summarized below to the items that were identified requiring a response or revision. Items noted to be compliant may not be referenced in this letter.

SITE PLAN REVIEW - McKENNA

****Note the site plan elevations on Sheet PRE-1 indicate the building is 135 feet tall. We believe this to be an error and an extra "1" was added to each height based upon the seemingly correct elevation for the West Entrance. Given this we assume the proposed height is 35 feet, which exceeds the required height permitted.** RESPONSE: Architecture typically sets their base elevation at 100 while civil sets there's at 0. Consequently, an architectural elevation of 100 is actually 0 and architectural elevation 135 is actually 35'. Height adjusted accordingly to 30' and is represented in the updated elevations.

We also note that the proposed property line to the south includes 17 parking spaces from the Meijer parcel. These 17 spaces were not included in the recent 8- space parking reduction granted at the September 5, 2024 ZBA meeting. If the property line remains as proposed, Meijer will need an additional parking reduction variance and site plan amendment. RESPONSE: The existing 17 parking spaces will remain and will be for the benefit of Meijer. A cross access parking easement will be drafted between the underlying Landlord and Meijer.

1. Off-Street Parking and Loading Requirements (Article VI Section 32-91 through 32-95 and 32-97)

a. Parking

Parking Requirement	32-93(5)(c) Auto Washes, high speed commercial Requirements	Proposed	In Compliance
Employee parking	3 spaces	5 spaces*	Yes
Stacking Spaces	24 stacking spaces behind point-of-sale station	24 stacking spaces behind point-of-sale station	Yes
Drying Lane	1 – 50ft drying lane	Unclear. It appears the wrap-around lane is over 50ft but defer to the applicant to indicate the dimensions of the area use for the drying lane	<u>Unclear</u>
ADA Parking	1 Space	1 Space	Yes

RESPONSE: Dimensions have been added to sheet #02 to show compliance with the 50' ft drying lane.

****We note the parking calculations to not appear to count the vacuum stalls as parking. Additionally, there appear to be discrepancies between the calculations provided and the site plan. For example, they indicate providing 4 employee spaces, but show 5 on the site plan.***

This is not a concern because they are meeting the minimum required still but should be corrected. RESPONSE: The vacuum stalls have not been counted towards the required count. The plans have been revised to reflect 5 employee parking spaces.

Per Sec. 32-94(2), a ninety-degree parking patterns requires one of the following configurations.

Space Width	Space Length	Maneuvering Width	Two Tiers of Parking & One Maneuvering Lane
9.0	20 feet	24 feet	64 feet
9.5 feet	20 feet	22 feet	62 feet
10 feet	20 feet	20 feet	60 feet

The site plan indicates 9x18 feet stalls for employees, and 13x18 feet stalls for the vacuum parking stalls, with a 24-foot maneuvering lane. **The applicant shall revise the parking stall lengths to comply with one of the listed parking patterns in Sec. 32-94(2).** RESPONSE: The plans have been revised to show 9' x 18' parking stalls with a 7' sidewalk or 2' of free space, allowing for a 2' overhang.

b. Ingress / Egress

Section 32-94(15) states that "adequate ingress and egress to the parking lot by means of clearly limited and defined paved drives shall be provided for all vehicles. All parking areas shall be provided with an entrance and exit from the abutting public thoroughfare. Such entrance and exit may be combined as one, which shall be thirty (30) feet in width."

The proposed plan shows one point of ingress that is 47 feet wide. The second point of ingress and egress (east driveway) is not dimensioned. **We defer to the applicant to provide this dimension, which must be at least 30 feet wide.** RESPONSE: The site plan has been revised to show a 30' wide secondary driveway.

c. Loading Spaces

Section 32-97 specifies that one (1) loading space that has an area ten (10) feet by fifty (50) feet, with fifteen (15) feet height clearance shall be provided.

Section 320131(i) specifies that loading shall only be provided in rear yards, but side yard loading may be permitted by Planning Commission when such space and loading facilities would not interfere with parking and circulation, either vehicular or pedestrian, and would not be detrimental to any nearby residential district or use. Loading may not be located closer than forty-five (45) feet to any rear property line adjacent to a property line.

Given the configuration and the nature of the site, it side loading may be required at the discretion of Planning Commission. Planning Staff defers to the applicant to indicate where and if loading will occur, and Planning Commission to allow side yard loading if required. RESPONSE: Due to the limited nature of deliveries (monthly chemistry, occasional office supplies, Amazon, FedEx, etc.), coupled with the lack of receipt or distribution of vehicles, materials or merchandise, a loading zone has not been provided.

2. Landscaping (Section 32-83, 84, 88)

Requirement	Requirements	Proposed	In Compliance
Interior Parking Lot Landscaping	One (1) tree for each six (6) parking spaces 3 trees required	16 trees	Yes
Frontage Landscaping	One (1) tree shall be planted for each thirty (30) linear feet public right-of-way frontage. $139.42/30 = 5$ trees	4 trees	No

Sec 32-84(a)1 specifies that whenever any yard (front, side or rear) is not designated for building, off-street parking, loading and unloading, storage or other approved purpose within the terms and requirements of a given zoning district, it shall be landscaped with either approved natural materials or living plant materials which shall be maintained in a sound, weed-free, healthy and vigorous growing condition. **We also note there is a large area in the south of the proposed project that is not landscaped, not used for parking, loading, storage, or any other use, therefor it must be landscaped.** **RESPONSE:** The area to the south is a portion of the existing parking lot which is set to remain and will be available for Meijer customers and will be presented with a parking easement. All areas within the curb limits of the premises, that are not occupied by impervious cover will be appropriately landscaped.

3. Signs (Section 32-85)

The applicant has not indicated any signage. Separate sign permits will be required before any signage is approved.

4. Architecture and Building (Section 32-131(1))

The zoning ordinance requires that, in the commercial districts, "the exterior of all buildings hereafter erected shall be constructed of aesthetically pleasing brick and/or stone building materials."

The building elevations provided by the applicant show that the exterior of the building will be composed of brick veneer, stone and EIFS, with accents of aluminum panels.

Per Sec. 32-131, "Other durable, decorative building materials may be approved by the planning commission in instances where the character and style of the proposed structure warrants special consideration." The Planning Commission shall decide if the EIFS and metal panels are acceptable. **NOTED.**

5. Screening (32-82)

The subject site does not abut residential uses or a use district other than CG; therefore, no screening is required.

6. Trash Enclosure (Section 32-131 (e))

There is a proposed dumpster and dumpster enclosure on the north side of the subject site. The dumpster screening is acceptable, and the applicant has provided information relative to the enclosure surrounding the dumpster.

7. Lighting (Section 32-86)

The applicant submitted a photometric plan showing the proposed configuration of lighting; however, it is not compliant with Sec. 32-86. The maximum illumination levels are provided in Sec. 32-86(6) for commercial uses.

Illumination of	Maximum Illumination in footcandles
General	0.5
Driveway	4.0
Parking	4.0
Walks	2.0
Protective	3.0
Building	5.0
Loading Areas	1.0

The illumination level exceeds this maximum illumination levels in several areas throughout the site and reaches a maximum of 32.3 footcandles. **A compliant photometric plan must be submitted.** **RESPONSE:** Due to the nature of the use, with a mixture of vehicles and people traversing the site, it's important that adequate light levels be provided. The vacuum stalls in particular are vacuum stations, not parking stalls. Customers park in these stalls to perform a specific task, vacuuming out their vehicle. They need adequate light levels to safely perform this task and see what they're doing.

Additionally, the Pay Station Canopy provides an area where Mister Car Wash team members assist customers as they make their purchase selection via the POS kiosk. Once again, the mixture of employees and vehicles, coupled with the nature of the transactions occurring require adequate, safe light levels.

8. Reviewing Entities

The site plan is subject to review by all of the applicable departments and jurisdictions deemed necessary to ensure the health, safety, and welfare of the community.

Public Safety had no concerns.

Engineering provided a review, which is attached after the Planning Report.

Please note that the lots have not been split and combined yet. This can be done administratively but should be a condition of approval if that is the direction Planning Commission takes. **RESPONSE:** Noted

SPECIAL LAND USE REVIEW

The proposed use shall be designed as to the location, size, intensity, site layout and periods of operation of any such proposed use to eliminate any possible nuisance emanating therefrom which might be offensive to the occupants of any other nearby uses permitted, whether by reason of dust, noise, fumes, vibration, smoke, or lights.

Applicant Comments	The hours of operations will be consistent with the surrounding commercial users. The site layout and screening are designed to minimize disruption to adjoining properties. Lighting and noise levels will adhere to City of Fraser ordinance requirements and will be consistent with the general commercial nature of Utica Road.
Planner Comments	While some landscaping is proposed, the applicant does not propose any screening for the vacuum areas. Additionally, the applicant did not provide an elevation or height for the vacuums, so Planning finds that there may be possible nuisance from the vacuums. defer to the applicant to elaborate on how they are minimizing this potential nuisance. RESPONSE: Elevations for the vacuum booms has been provided as an attachment to this letter.

SITE PLAN REVIEW - AEW

Utilities

1. An existing 12" water main is located under the southbound lanes Utica Road and is available for service to the site. Site plan should be updated to reflect correct location. **RESPONSE:** Noted
2. There is currently no sanitary sewer along the frontage of this property. Sanitary sewer will need to be extended across the frontage of the proposed outlot to a point inside the northerly property line. It is not anticipated that future sewer extension will be necessary to the south as all parcels south currently have access to public sewer. **RESPONSE:** Noted
3. Storm sewer is currently available on the proposed outlot site as part of the overall Meijer drainage system. This system can be utilized by the developer with appropriate maintenance agreements and easements as may be required. **RESPONSE:** Noted
4. The proposed site plan appears to be increasing the volume and rate of stormwater runoff. While this parcel is served by regional detention, additional drainage area outside of the original drainage district would be directed to the regional facility. Therefore, additional on-site detention and water quality

treatment measures may be required if the existing storm outlet is re-used. Applicant will need to provide detailed calculations for review during the engineering phase before a final determination can be made. **RESPONSE: Noted**

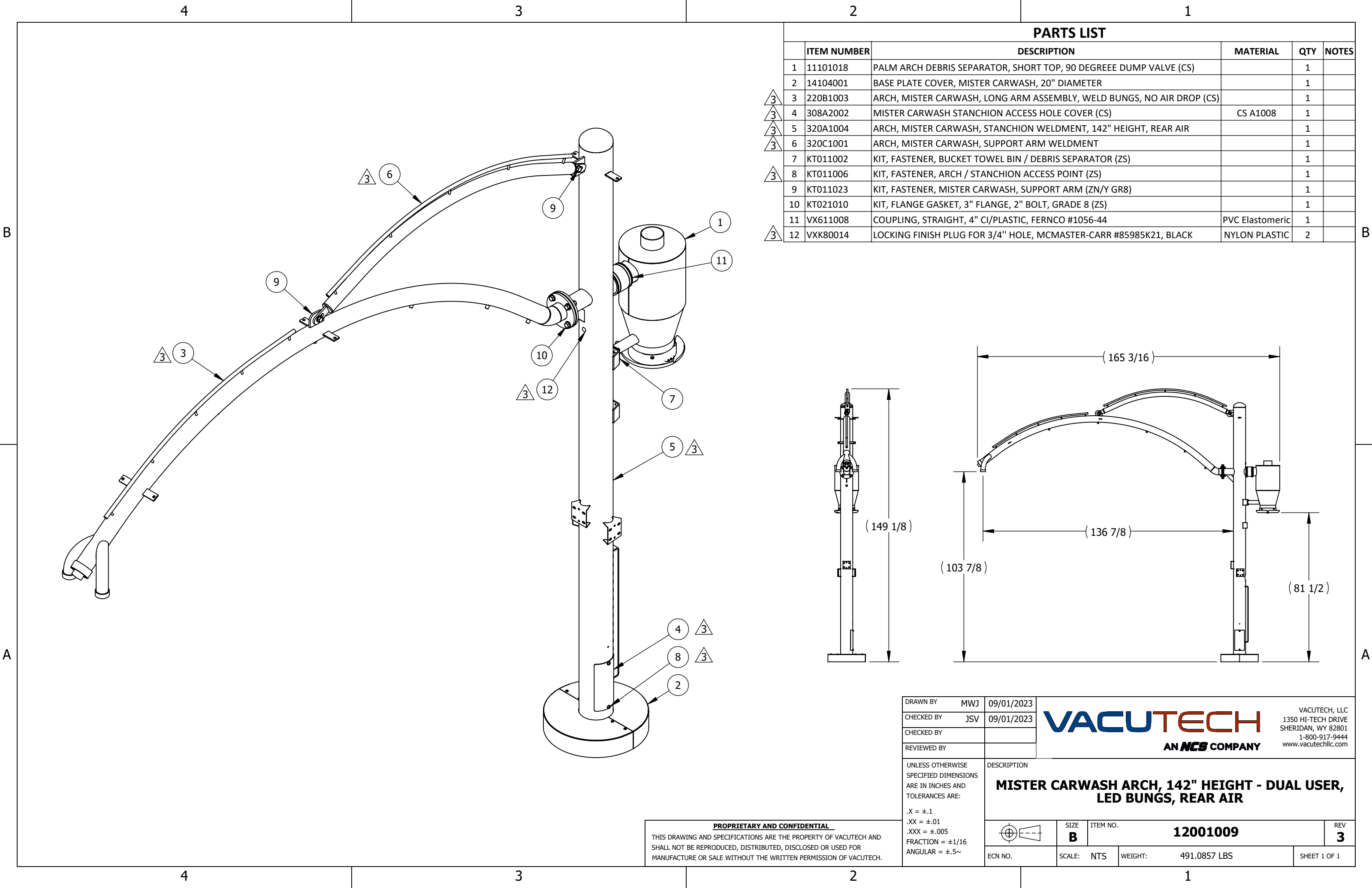
5. Storm sewer is available along Utica Road if the developer cannot execute the necessary agreements with Meijer. This outlet would require that detention be provided and storm water quality measures included for final engineering approval. **RESPONSE: Noted**

General

1. Existing driveways in the Utica Road right-of-way will need to be removed. **RESPONSE: Noted**
2. Existing sidewalk in the Utica Road right-of-way should be removed and replaced 1' inside of the right-of-way line to current ADA standards. **RESPONSE: Noted**
3. An ADA compliant pedestrian access route shall be provided from the public right-of-way to the building. **RESPONSE: Noted**
4. Preliminary grading plan suggests that surface drainage is directed off-site. Surface run-off shall be maintained on-site to the extent feasible. This can be reviewed during engineering phase. **RESPONSE: Noted**
5. Prior to issuance of the Building Permit, the petitioner will be required to submit final engineering plans for our review. The City of Fraser Standard Details for Paving and Storm Sewer shall be included in final engineering plans. Digital copies are available from our office. **RESPONSE: Noted**
6. Prior to issuance of a Building Permit, a soil erosion permit or waiver will need to be obtained from Macomb County Public Works Office. **RESPONSE: Noted**
7. Prior to issuance of a Building Permit, a permit or waiver will need to be obtained for the Macomb County Department of Roads for all work in the Utica Road right-of-way. **RESPONSE: Noted**
8. Prior to issuance of a Building Permit, a permit will need to be obtained from Michigan Department of Environment, Great Lakes and Energy (EGLE) for the construction of a sanitary sewer. **RESPONSE: Noted**
9. A cross-access agreement must be executed between the proposed outlot and Meijer parent parcel. **RESPONSE: Noted**
10. A storm water maintenance agreement must be executed between the proposed outlot and Meijer parent parcel. **RESPONSE: Noted**

Attachment

Vacuum Arm Cutsheet



PARTS LIST					
	ITEM NUMBER	DESCRIPTION	MATERIAL	QTY	NOTES
	1	11101018	PALM ARCH DEBRIS SEPARATOR, SHORT TOP, 90 DEGREEE DUMP VALVE (CS)	1	
	2	14104001	BASE PLATE COVER, MISTER CARWASH, 20" DIAMETER	1	
3	3	220B1003	ARCH, MISTER CARWASH, LONG ARM ASSEMBLY, WELD BUNGS, NO AIR DROP (CS)	1	
3	4	308A2002	MISTER CARWASH STANCHION ACCESS HOLE COVER (CS)	1	CS A1008
3	5	320A1004	ARCH, MISTER CARWASH, STANCHION WELDMENT, 142" HEIGHT, REAR AIR	1	
3	6	320C1001	ARCH, MISTER CARWASH, SUPPORT ARM WELDMENT	1	
	7	KT011002	KIT, FASTENER, BUCKET TOWEL BIN / DEBRIS SEPARATOR (ZS)	1	
3	8	KT011006	KIT, FASTENER, ARCH / STANCHION ACCESS POINT (ZS)	1	
	9	KT011023	KIT, FASTENER, MISTER CARWASH, SUPPORT ARM (ZN/Y GR8)	1	
	10	KT021010	KIT, FLANGE GASKET, 3" FLANGE, 2" BOLT, GRADE 8 (ZS)	1	
	11	VX611008	COUPLING, STRAIGHT, 4" CI/PLASTIC, FERNCO #1056-44	1	PVC Elastomeric
3	12	VXK80014	LOCKING FINISH PLUG FOR 3/4" HOLE, MCMASTER-CARR #85985K21, BLACK	2	NYLON PLASTIC

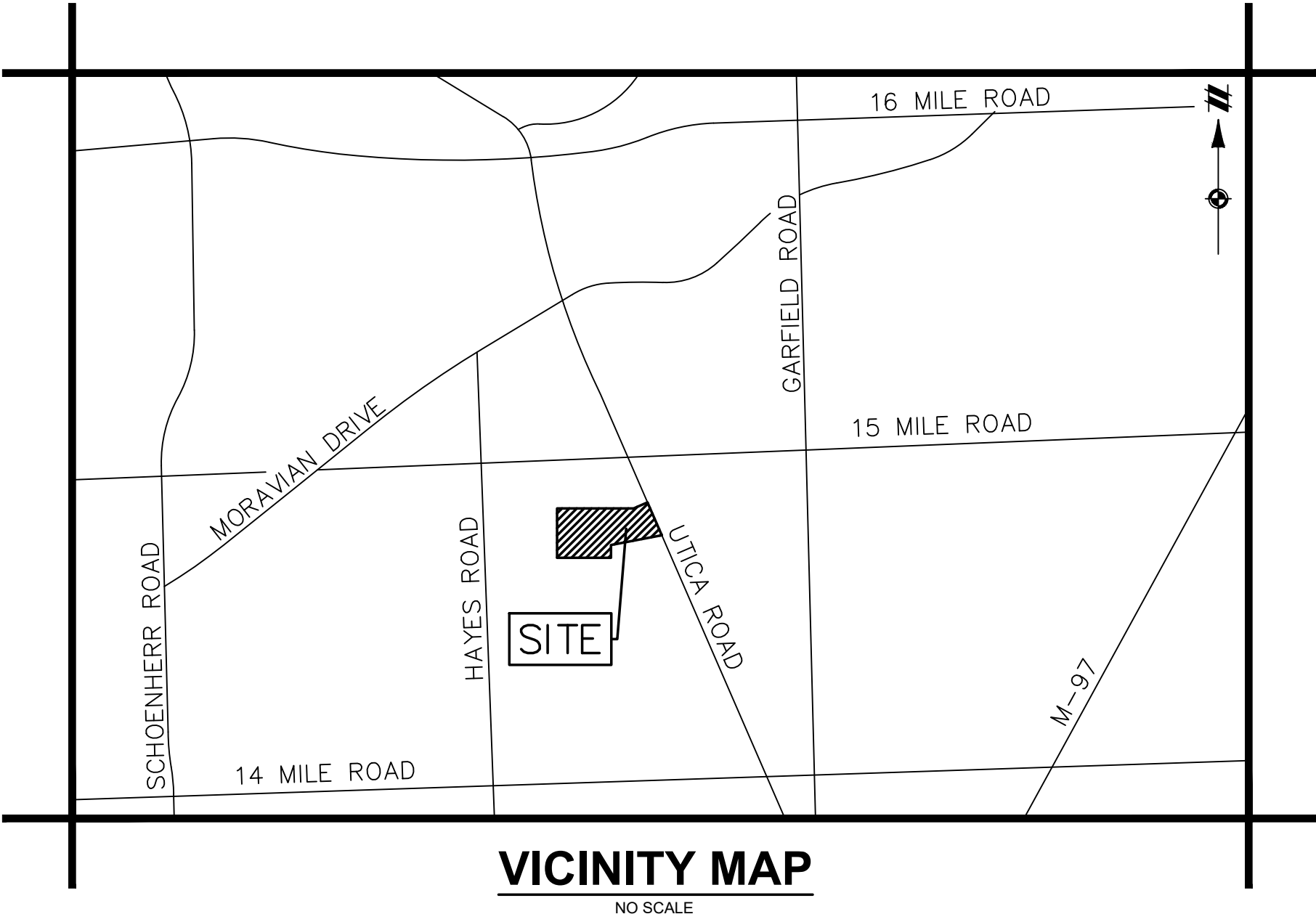
PROPRIETARY AND CONFIDENTIAL
THIS DRAWING AND SPECIFICATIONS ARE THE PROPERTY OF VACUTECH AND SHALL NOT BE REPRODUCED, DISTRIBUTED, DISCLOSED OR USED FOR MANUFACTURE OR SALE WITHOUT THE WRITTEN PERMISSION OF VACUTECH.

DRAWN BY	MWJ	09/01/2023	VACUTECH AN <i>NCS</i> COMPANY VACUTECH, LLC 1350 HI-TECH DRIVE SHERIDAN, WY 82801 1-800-917-9444 www.vacutechllc.com		
CHECKED BY	JSV	09/01/2023			
CHECKED BY					
REVIEWED BY					
UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE IN INCHES AND TOLERANCES ARE: .X = ±.1 .XX = ±.01 .XXX = ±.005 FRACTION = ±1/16 ANGULAR = ±.5~			DESCRIPTION MISTER CARWASH ARCH, 142" HEIGHT - DUAL USER, LED BUNGS, REAR AIR		
		SIZE B	ITEM NO. 12001009	REV 3	
ECN NO.		SCALE: NTS	WEIGHT: 491.0857 LBS	SHEET 1 OF 1	

MISTER CAR WASH

STORE #MI 1454
34625 UTICA RD
FRASER, MI 48026

SITE PLANS



DEVELOPMENT TEAM

OPERATOR
MISTER CAR WASH
DEVELOPMENT & CONSTRUCTION
222 E. 5TH AVE
TUSCON, AZ 85705
CONTACT: EVANTHIA BARDWELL
PHONE: (520) 600-6659
EMAIL: EBARDWELL@MISTERCARWASH.COM

ARCHITECT
EXCEL ENGINEERING
100 CAMELOT DRIVE
FOND DU LAC, WI 54935
PHONE: (920) 926-9800

CIVIL ENGINEER
ATWELL, LLC
12745 23 MILE ROAD, SUITE 200
SHELBY TOWNSHIP, MI 48315
CONTACT: MICHAEL McPHERSON
PHONE: (586) 786-9800
EMAIL: mmcpherson@atwell-group.com

DEVELOPER
MHB COMPANIES LLC
399 FISHER ROAD
GROSS POINTE, MI 48230
CONTACT: JOSEPH PALUZZI
PHONE: (313) 884-1123

GOVERNING AGENCIES / UTILITY CONTACTS

PLANNING
CITY OF FRASER
PLANNING/ZONING DEPARTMENT
33000 GARFIELD ROAD
FRASER, MI 48026
CONTACT: ANDREW LITTMAN
PHONE: (586) 293-3100
EMAIL: zoning@micityoffraser.com

ACCESS & ROAD
MACOMB COUNTY ROAD COMMISSION
117 S GROESBECK HWY
MOUNT CLEMENS, MI 48043
PHONE: (586) 463-8671
EMAIL: geninfo@rcmcweb.org

BUILDING
CITY OF FRASER
BUILDING DEPARTMENT
33000 GARFIELD ROAD
FRASER, MI 48026
CONTACT: BRUCE ECK
PHONE: (586) 93-3100
EMAIL: buildingofficial@micityoffraser.com

SOIL EROSION
MACOMB COUNTY
PUBLIC WORKS OFFICE
21777 DUNHAM ROAD
CLINTON TWP, MI 48036
PHONE: (586) 469-5325

WATER & SEWER
CITY OF FRASER
DEPARTMENT OF PUBLIC WORKS
31250 KENDALL
FRASER, MI 48026
CONTACT: MARK RAGSDALE
PHONE: (586) 293-2001
EMAIL: dpwsupt@micityoffraser.com

STORMWATER
MACOMB COUNTY PUBLIC WORKS
21777 DUNHAM RD
CLINTON TWP., MI 48036
CONTACT: DARYL GAPSHES
PHONE: (586) 469-5325
EMAIL: daryl.gapshes@macombgov.org

PARCEL DESCRIPTION

DESCRIPTION OF TAX PARCEL NUMBER 03-11-31-100-049 PER
MACOMB COUNTY TAX RECORDS:

SPLIT ON 11/02/2021 INTO 03-11-31-100-049 & 03-11-31-100-050;
T2N, R13E, SEC 31; COMM AT N 1/4 POST SEC 31; TH S89°24'07"W
184.68 FT TO POB; TH S21°47'00"E 64.36 FT; TH S89°24'07"W 64.35
FT; TH S21°47'00"E 302.71 FT; TH S89°31'41"W 183.52 FT; TH
S00°25'20"E 339.18 FT; TH S89°31'43"E 98.70 FT; TH N85°55'32"E
42.61 FT; TH N77°24'57"E 55.82 FT; N69°23'27"E 58.07 FT; TH
N22°05'42"W 15.00 FT; TH N67°54'18"E 31.00 FT; TH S22°05'42"E
15.00 FT; TH N67°54'18"E 13.03 FT; TH 5.47 FT ALG A CURVE LEFT,
R=24.16, CB N58°11'37"E 5.46 FT; TH S21°47'00"E 50.79 FT; TH
N62°42'07"W 12.25 FT; TH S69°11'13"W 33.95 FT; TH 179.94 FT
ALG A CURVE RIGHT, R=418.95, CB S76°21'20"W 178.56 FT; TH
S00°25'36"E 195.76 FT; TH N89°10'55"E 151.42 FT; TH 148.46 FT
ALG A CURVE LEFT, R=338.34, CB N77°11'21"E 147.27 FT; TH
N16°37'43"E 3.75 FT; TH S21°21'55"E 83.39 FT; TH S82°18'46"W
122.84 FT; TH S00°37'09"E 357.53 FT; TH S89°24'07"W 1124.46 FT;
TH NORTH 1334.67 FT; TH N89°24'07"E 115.41 FT; TH S00°00'00"E
107.68 FT; TH N90°00'00"W 28.84 FT; TH S00°00'00"E 98.42 FT; TH
39.53 FT ALG A CURVE LEFT, R=25, CB S45°17'57"E 35.54 FT; TH
N89°24'07"E 213.58 FT; TH N89°27'13"E 160.43 FT; TH 76.75 FT ALG
A CURVE TO RIGHT, R=200, CB S79°24'31"E 76.28 FT; TH
S68°24'56"E 46.22 FT; TH 49.26 FT ALG A CURVE TO LEFT, R=25,
CB N55°08'01"E 41.67 FT; TH N01°19'02"W 156.30 FT; TH
N18°29'03"W 24.89 FT; TH NORTH 60.00 FT; N89°24'07"E 298.85 FT
TO POB 26.935 AC

BENCHMARKS

BM #1: ARROW ON FIRE HYDRANT IN WEST RIGHT OF WAY OF UTICA
ROAD AT SOUTHEAST LIMITS OF TOPO AREA
ELEVATION: 614.77 (NAVD88)

BM #2: ARROW ON FIRE HYDRANT AT SOUTHWEST LIMITS OF TOPO
AREA
ELEVATION: 616.64 (NAVD88)

FLOODZONE

NO FLOOD ZONE LOCATED ON THE SITE..

WETLANDS

NO WETLANDS IDENTIFIED ON THE SITE.

SHEET INDEX	
01	COVER
02	LAYOUT PLAN
03	DEMOLITION PLAN
04	PRELIMINARY GRADING PLAN
05	PRELIMINARY UTILITY PLAN
06	LANDSCAPE PLAN
07	LANDSCAPING DETAILS

ATTACHED PLANS	
PRE-1	PRELIMINARY EXTERIOR ELEVATIONS
PRE-2	PRELIMINARY FLOOR PLAN
PRE-3	PRELIMINARY ATTENDANT SHELTER PLANS AND DETAILS
PRE-4	PRELIMINARY DUMPSTER ENCLOSURE PLAN & ELEVATIONS
PRE-5	PRELIMINARY VACUUM EQUIPMENT ENCLOSURE PLAN & ELEVATION
PRE-6	PRELIMINARY CANOPY PLANS AND DETAILS

01	PHOTOMETRIC PLAN
1 OF 2	ALTA/NSPS SURVEY
2 OF 2	ALTA/NSPS SURVEY
1 OF 1	LIMITED TOPOGRAPHIC SURVEY - ATWELL

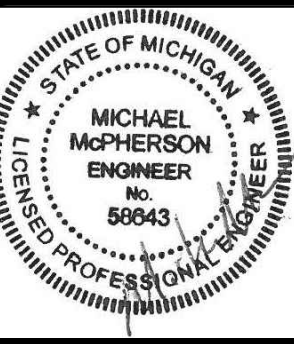


222 E. 5TH STREET
TUCSON, AZ 85705
www.mistercarwash.com



MISTER CAR WASH
STORE #MI 1454 FRASER
SITE PLANS

DATE: NOVEMBER 1, 2024
REVISIONS/SUBMITTALS



DRAWN BY: NM
CHECKED BY: EM/JA
PROJECT MANAGER: JA
JOB #: 23000110
SHEET #:

LEGEND

	PROPERTY LINE		PAVEMENT MARKINGS
	PROPOSED VERTICAL CURB		STOP BAR & SIGN
	PROPOSED ROLLED CURB		PROPOSED SIGN
	EXISTING CURB & GUTTER		ACCESSIBLE PARKING SPACE
	CONCRETE SIDEWALK		EX / PR LIGHT POLE
	CONCRETE PAVEMENT		EXISTING UTILITY POLE
	HEATED CONCRETE PAVEMENT		
	OVERHEAD ELECTRIC		

NOTES

1. REFER TO THE ALTA/ACSM LAND TITLE SURVEY FOR ADDITIONAL EXISTING FEATURES AND PROPERTY BOUNDARY INFORMATION. REFERENCE SURVEY: SURVEY BY WILLIAMS & WORKS, JOB NO.: Z21014.048, DATE: 06/27/24.
2. ALL DIMENSIONS ARE TO EDGE OF BUILDING, FACE OF CURB, OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
3. REFER TO ARCHITECTURAL / FOUNDATION PLANS FOR BUILDING DIMENSIONS.
4. ALL RADII ARE 5' UNLESS OTHERWISE NOTED. ALL RADII ARE DIMENSIONED FROM BACK OF CURB.
5. A SEPARATE SIGN APPLICATION TO CITY OF FRASER IS REQUIRED FOR ALL SIGNS.
6. OPEN STORAGE OF MATERIALS SHALL NOT BE PERMITTED ON THE SITE.
7. 3 MECHANICAL DRY-OFF MACHINES PROVIDED WITHIN CARWASH TUNNEL.
8. PAVEMENT THICKNESS WILL MEET OR EXCEED MINIMUM PAVEMENT THICKNESS REQUIRED BY CITY OF FRASER AS FOLLOWS:
 - 8.1. CONCRETE: SEVEN INCHES OF CONCRETE ON AN APPROVED SUBBASE.
 - 8.2. ASPHALT: FOUR INCHES OF BITUMINOUS ON SIX INCHES OF AGGREGATE SUBBASE.

PROJECT NARRATIVE

THE PROPOSED DEVELOPMENT IS A CONVEYOR-TYPE CAR WASH TO INCLUDE A 6,530 SQUARE FOOT BUILDING FACILITY AND ASSOCIATED PARKING FACILITIES, UTILITY SERVICES, LANDSCAPING & STORMWATER MANAGEMENT FACILITIES.

THE PROPOSED SITE IS LOCATED AT 34625 UTICA ROAD AND IS CURRENTLY UNOCCUPIED BY THE PREVIOUS TENANT. DEVELOPMENT OF THE SITE WILL REQUIRE DEMOLITION OF THE EXISTING BUILDING, REMOVAL AND CAPPING OF EXISTING UTILITY SERVICE FEEDS, AND REDEVELOPMENT OF THE SITE ACCORDING TO THE SITE LAYOUT PLAN PER COUNTY & STATE REQUIREMENTS.

SITE DATA

TAX ID:	03-11-31-100-049
ZONING:	GC GENERAL COMMERCIAL
PARCEL 1:	26.93 ACRES
PARCEL 2:	0.66 ACRES
OVERALL PARCEL:	27.59 ACRES

PROPOSED MCW PARCEL: 1.44 ACRES

BUILDING DATA			
FLOOR AREA	6,530 SF		
EMPLOYEE PARKING DATA			
PROPOSED	REQUIRED	FORMULA	
5 SPACES	3 SPACES	1 SPACE PER EMPLOYEE (2-3 EMPLOYEES PER SHIFT)	

CAR WASH STACKING DATA			
PROPOSED	REQUIRED	FORMULA	
24 SPACES	24 SPACES	6 SPACES PER SERVICE LANE	

ACCESSIBLE PARKING DATA			
	PROPOSED	REQUIRED	FORMULA
TOTAL	1 SPACE+	1 SPACE	1-25 TOTAL SPACES PROVIDED
VAN	1 SPACE+	1 SPACE	1/6 ACCESSIBLE SPACES
*ACCESSIBLE VACUUM SPACE IS INTENDED TO SERVE AS ACCESSIBLE SPACE			

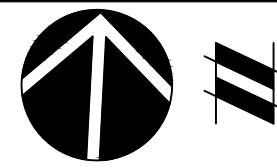
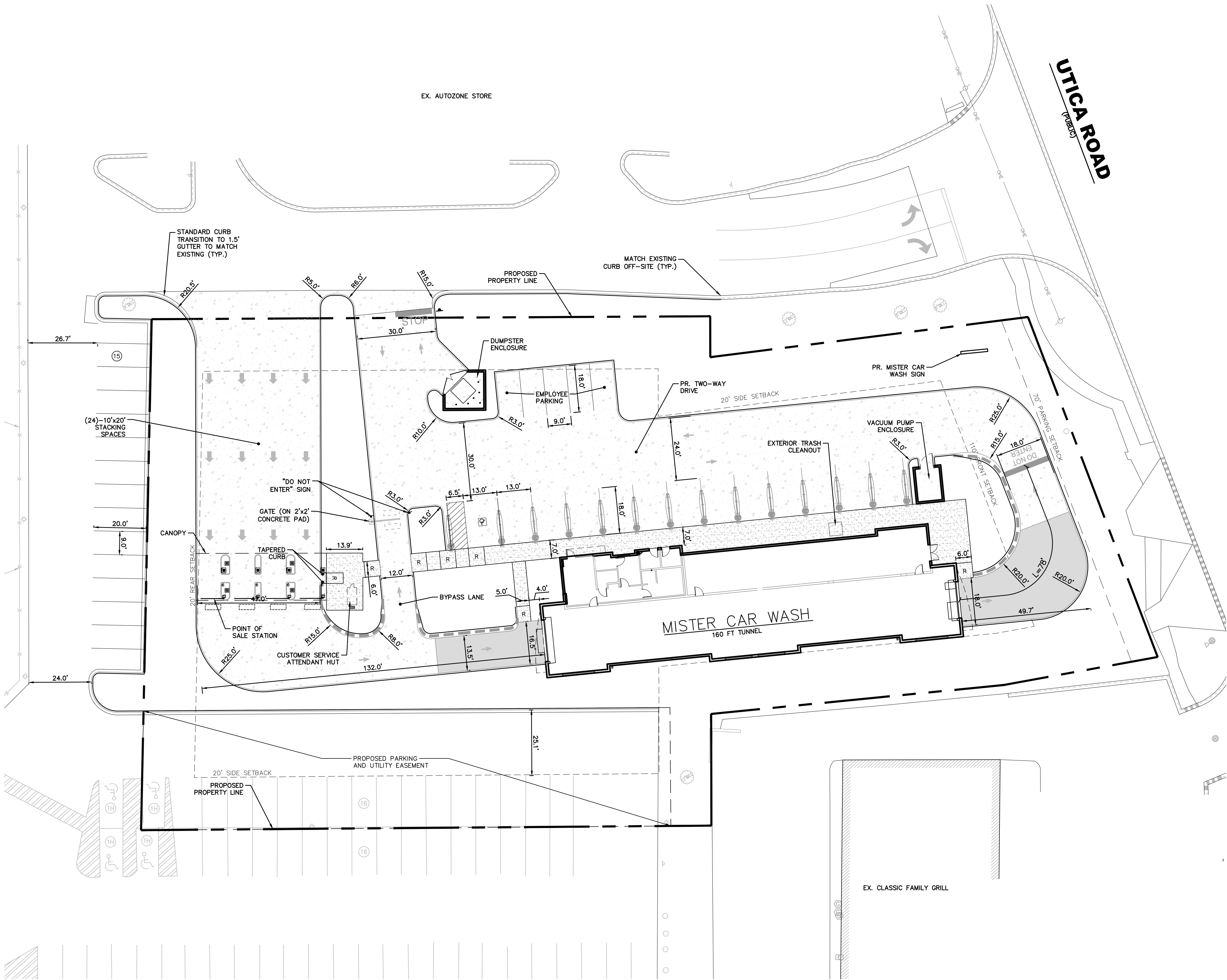
PARCEL DESCRIPTION

SPLIT ON 11/02/2021 INTO 03-11-31-100-049 & 03-11-31-100-050; T2N, R13E, SEC 31; COMM AT N 1/4 POST SEC 31; TH S89+24°07'W 184.68 FT TO POB; TH S21+47°00'E 64.36 FT; TH S89+24°07'W 64.35 FT; TH S21+47°00'E 302.71 FT; TH S89+31°41'W 183.52 FT; TH S00+25°20'E 339.18 FT; TH S89+31°43'E 98.70 FT; TH N85+55°32'E 42.61 FT; TH N77+24°57'E 55.82 FT; N69+23°27'E 58.07 FT; TH N22+05°42'W 15.00 FT; TH 5.47 FT ALG A CURVE LEFT, R=24.16, CB N58+11°37'E 5.46 FT; TH S21+47°00'E 50.79 FT; TH N62+42°07'W 12.25 FT; TH S69+11°13'W 33.95 FT; TH 179.94 FT ALG A CURVE RIGHT, R=418.95, CB S76+21°20'W 178.56 FT; TH S00+25°36'E 195.76 FT; TH N89+10°55'E 151.42 FT; TH 148.46 FT ALG A CURVE LEFT, R=338.34, CB N77+11°21'E 147.27 FT; TH N16+37°43'E 3.75 FT; TH S21+21°55'E 83.39 FT; TH S82+18°46'W 122.84 FT; TH S00+37°09'E 357.53 FT; TH S89+24°07'W 1124.46 FT; TH NORTH 1334.67 FT; TH N89+24°07'E 115.41 FT; TH S00+00°00'E 107.68 FT; TH N90+00°00'W 28.84 FT; TH S00+00°00'E 98.42 FT; TH 39.53 FT ALG A CURVE LEFT, R=25, CB S45+17°57'E 35.54 FT; TH N89+24°07'E 213.58 FT; TH N89+27°13'E 160.43 FT; TH 76.75 FT ALG A CURVE TO RIGHT, R=200, CB S79+24°31'E 76.28 FT; TH S68+24°56'E 46.22 FT; TH 49.26 FT ALG A CURVE TO LEFT, R=25, CB N55+08°01'E 41.67 FT; TH N01+19°02'W 156.30 FT; TH N18+29°03'W 24.89 FT; TH NORTH 60.00 FT; N89+24°07'E 298.85 FT TO POB 26.93 AC

SITE BENCHMARKS

ON-SITE BENCHMARK #1: ARROW ON FIRE HYDRANT IN WEST RIGHT OF WAY OF UTICA ROAD AT SOUTHEAST LIMITS OF TOPO AREA
ELEVATION: 614.77 (NAVD88)

ON-SITE BENCHMARK #2: ARROW ON FIRE HYDRANT AT SOUTHWEST LIMITS OF TOPO AREA
ELEVATION: 616.64 (NAVD88)

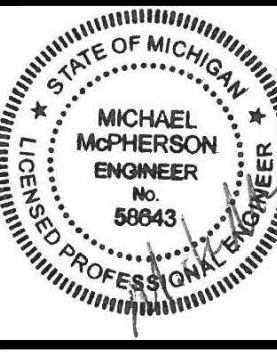


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MISTER CAR WASH
STORE # MI 1454 FRASER
SITE PLANS
LAYOUT PLAN

DATE: NOVEMBER 1, 2024
REVISIONS/SUBMITTALS



DRAWN BY: NM
CHECKED BY: EM/JA
PROJECT MANAGER: JA
JOB #: 230000110
SHEET #:

	PROPERTY LINE
	STORM SEWER
	SANITARY SEWER
	WATERMAIN
	UNDERGROUND DATA/TELE
	GAS
	ASPHALT TO BE REMOVED
	CONCRETE TO BE REMOVED
	BUILDING TO BE REMOVED
	GRAVEL TO BE REMOVED
	TREES TO BE REMOVED
	ITEM(S) TO BE REMOVED
	PROP. DEMOLITION LIMITS OF DISTURBANCE

1. ANY ITEM NOT INDICATED AS BEING REMOVED SHALL REMAIN.
2. FOR ADDITIONAL INFORMATION REFERENCE THE STANDARD NOTES SHEET, STANDARD DETAILS SHEET(S), AND ANY MUNICIPALITY AND/OR JURISDICTIONAL DETAILS ATTACHED TO THIS PLAN SET.
3. CONTRACTOR SHALL CALL "MISS DIG" AT LEAST THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION/DEMOLITION.
4. CONTRACTOR SHALL COORDINATE ALL UTILITY REMOVAL AND ABANDONMENT ACTIVITIES WITH LOCAL GOVERNING AGENCY OR UTILITY COMPANY PRIOR TO STARTING DEMOLITION. IT IS THE RESPONSIBILITY OF THE GOVERNING AGENCY AND UTILITY COMPANY REMOVE AND ABANDONMENT STANDARDS.
5. CONTRACTOR RESPONSIBLE FOR COORDINATING UTILITY TERMINATIONS & OBTAINING DEMOLITION PERMIT FROM THE CITY OF FRASER PRIOR TO BEGINNING CONSTRUCTION.
6. CONTRACTOR SHALL COMPLY AND ADHERE TO, AS APPLICABLE, ANY REQUIREMENTS RELATED TO INTERACTING WITH OR MANAGING ENVIRONMENTAL CONTAMINATION THAT MAY COINCIDE WITH DEMOLITION ACTIVITIES.

ON-SITE BENCHMARK #2: ARROW ON FIRE HYDRANT
AT SOUTHWEST LIMITS OF TOPO AREA
ELEVATION: 616.64 (NAVD88)

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- RIDGELINE
- PROPOSED DRAINAGE ARROW
- EXISTING MANHOLE/CATCH BASIN/END SECTION
- PROPOSED MANHOLE/CATCH BASIN/END SECTION

NOTES

- FOR ADDITIONAL INFORMATION REFERENCE THE STANDARD NOTES SHEET, STANDARD DETAILS SHEET(S), AND ANY MUNICIPALITY AND/OR JURISDICTIONAL DETAILS ATTACHED TO THIS PLAN SET.
- ALL ELEVATIONS SHOWN ARE TOP OF PAVEMENT/FINISH GRADE UNLESS OTHERWISE NOTED.
- REFER TO SURVEY PLAN FOR BENCHMARK(S).

STORMWATER NARRATIVE

ON-SITE STORMWATER GENERALLY WILL SHEETFLOW TO A SERIES OF CATCH BASINS. IT WILL THEN BE CONVEYED TO THE MEIJER STORMWATER SYSTEM.

IMPERVIOUS AREA

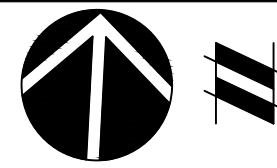
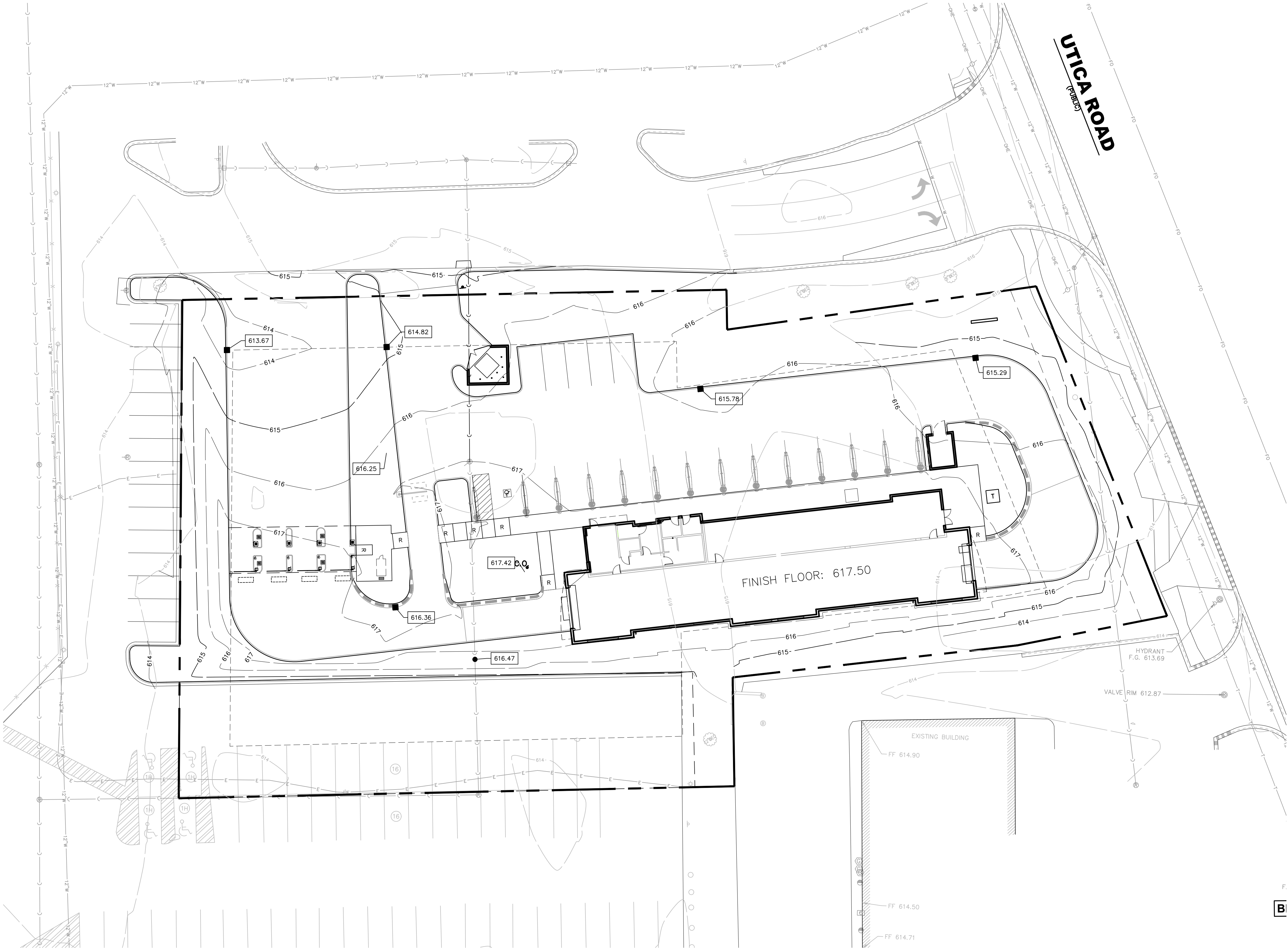
EXISTING: 38,255 SF = 0.88 AC
PROPOSED: 42,504 SF = 0.98 AC

INCREASE OF 0.10 AC (10%) IMPERVIOUS

SITE BENCHMARKS

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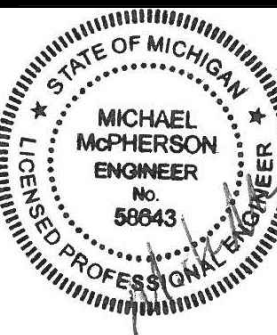


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MISTER CAR WASH
STORE # MI 1454 FRASER
SITE PLANS
PRELIMINARY GRADING PLAN

DATE: NOVEMBER 1, 2024
REVISIONS/SUBMITTALS



0 10' 20'
SCALE: 1"=20'

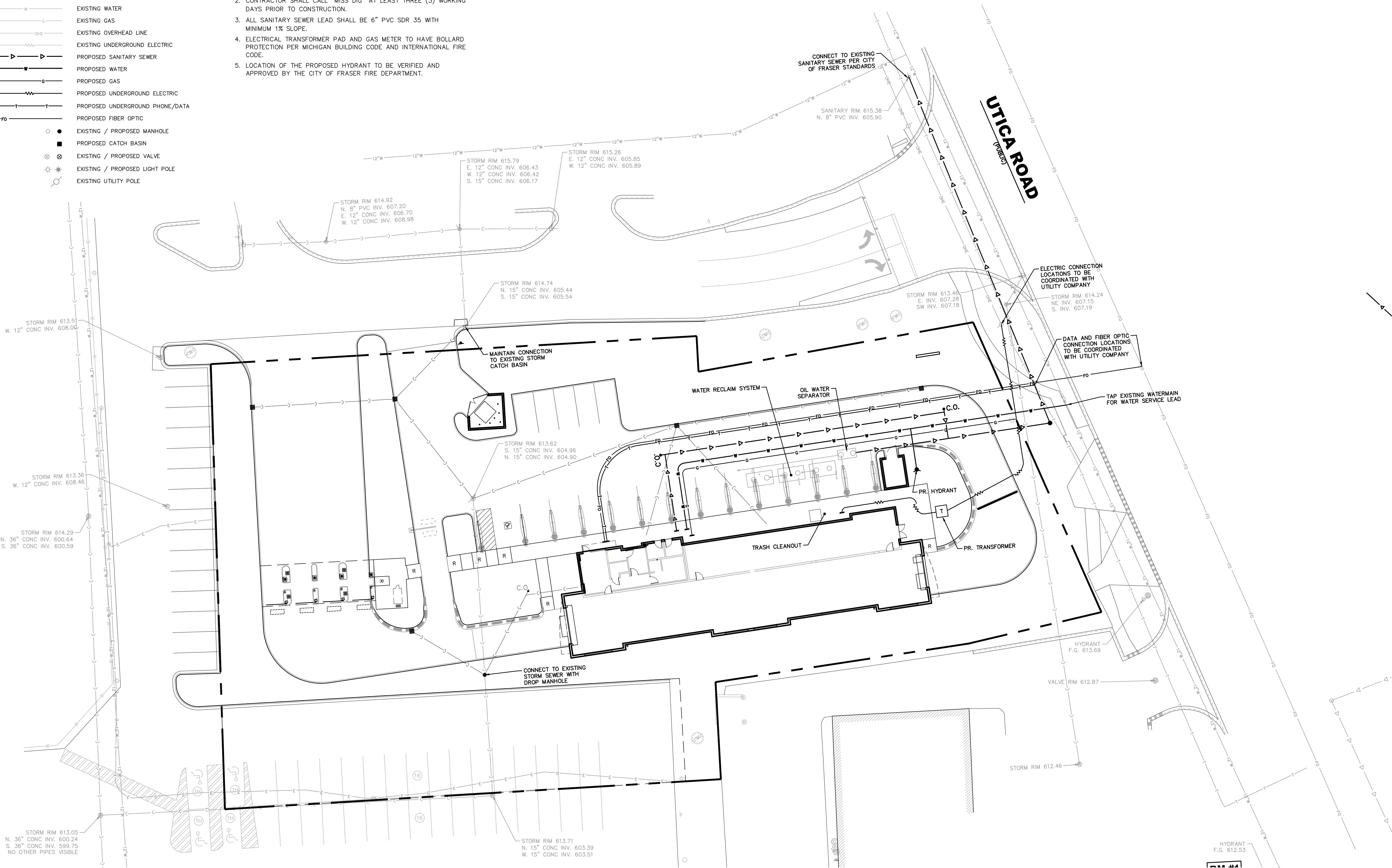
DRAWN BY: NM
CHECKED BY: EM/JA
PROJECT MANAGER: JA
JOB #: 23000110
SHEET #:

LEGEND

- PROPERTY LINE
EXISTING STORM SEWER
EXISTING SANITARY SEWER
EXISTING WATER
EXISTING GAS
EXISTING OVERHEAD LINE
EXISTING UNDERGROUND ELECTRIC
PROPOSED SANITARY SEWER
PROPOSED WATER
PROPOSED GAS
PROPOSED UNDERGROUND ELECTRIC
PROPOSED UNDERGROUND PHONE/DATA
PROPOSED FIBER OPTIC
EXISTING / PROPOSED MANHOLE
PROPOSED CATCH BASIN
EXISTING / PROPOSED VALVE
EXISTING / PROPOSED LIGHT POLE
EXISTING UTILITY POLE

NOTES

1. CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH UTILITY COMPANY OR AUTHORITY HAVING JURISDICTION PRIOR TO START OF CONSTRUCTION.
2. CONTRACTOR SHALL CALL "MISS DIG" AT LEAST THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION.
3. ALL SANITARY SEWER LEAD SHALL BE 6" PVC SDR 35 WITH MINIMUM 1% SLOPE.
4. ELECTRICAL TRANSFORMER PAD AND GAS METER TO HAVE BOLLARD PROTECTION PER MICHIGAN BUILDING CODE AND INTERNATIONAL FIRE CODE.
5. LOCATION OF THE PROPOSED HYDRANT TO BE VERIFIED AND APPROVED BY THE CITY OF FRASER FIRE DEPARTMENT.



SITE BENCHMARKS

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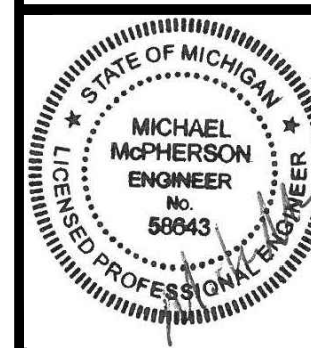
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MISTER CAR WASH
STORE # MI 1454 FRASER
SITE PLANS
PRELIMINARY UTILITY PLAN

DATE	NOVEMBER 1, 2024
REVISIONS/SUBMITTALS	



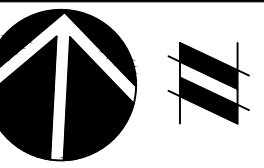
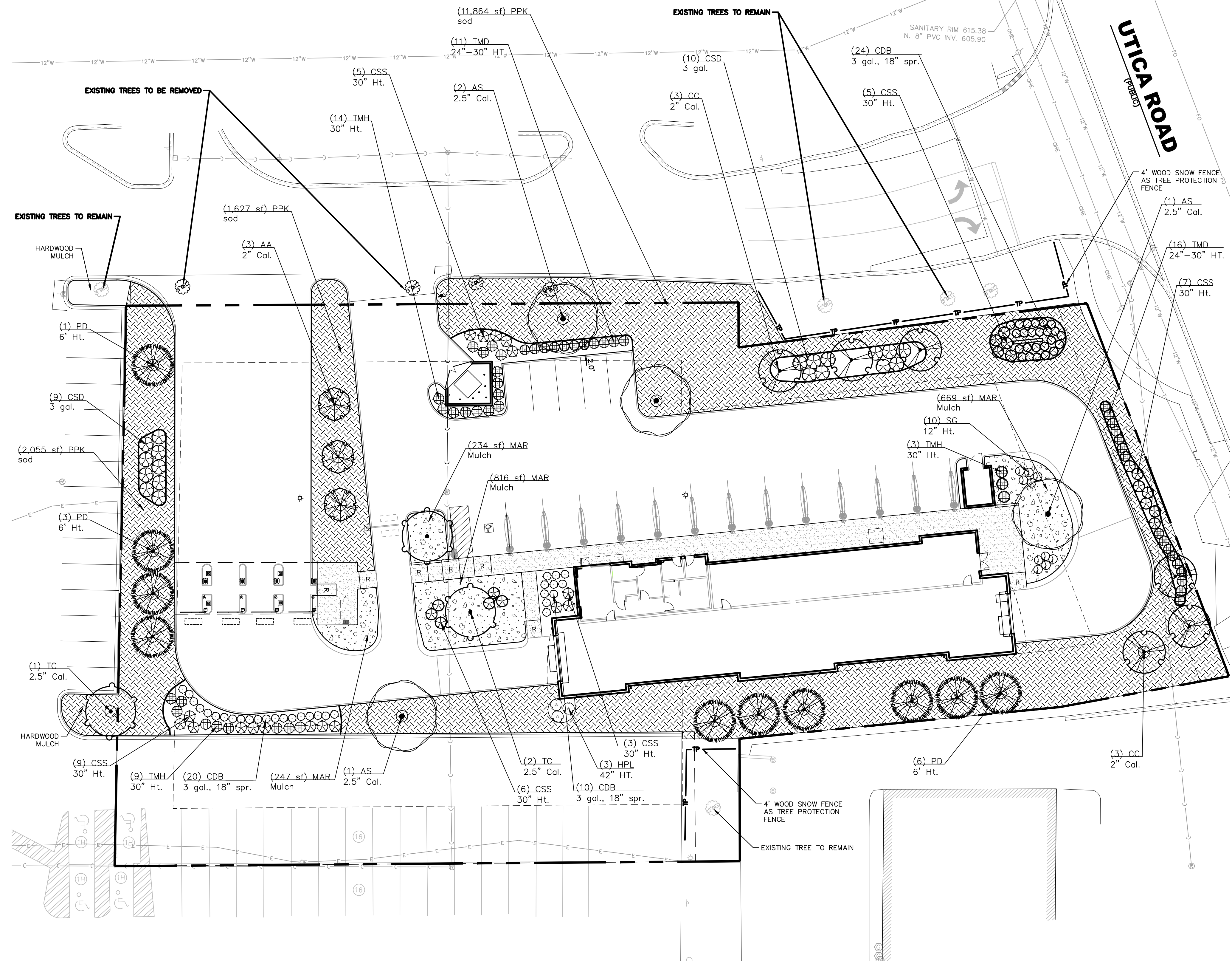
0 10' 20'
SCALE: 1"=20'
DRAWN BY: NM
CHECKED BY: EM/JA
PROJECT MANAGER: JA
JOB #: 230000110
SHEET #:

	PROPERTY LINE		TRAFFIC FLOW ARROWS
	PROPOSED PROPERTY BOUNDARY		PROPOSED SIGN
	EXISTING CURB & GUTTER		PARKING ROW COUNT
	PROPOSED CURB & GUTTER		ACCESSIBLE PARKING SPACE
	4"-6" RIVER BED ROUNDED GRAVEL IN PLANTING BEDS MIN. DEPTH OF 8"		EXISTING / PROPOSED LIGHT POLE
	KENTUCKY BLUEGRASS SOD		PROPOSED RAMP

ITEM	REQUIREMENT	QTY. REQUIRED	QTY. PROVIDED	FORMULA
PRESERVATION OF WOODED AND SHRUBBED AREAS	10% OF TOTAL SITE TREE CANOPY TO BE RESERVED	N/A - THERE IS ONLY ONE (12" CAL.) TREE ON SITE. ALL EXISTING TREES OFF SITE TO BE REMOVED ARE IN THE AREA OF ENTRANCE AND EXIT.	ADDED 23 TREES	N/A

- NOTES:
1. GRAPHIC SYMBOLS TAKE PRECEDENCE OVER WRITTEN QUANTITIES AND KEYS ON PLANS.
 2. CONTRACTOR TO PROVIDE IRRIGATION DESIGN FOR LANDSCAPE ARCHITECTS APPROVAL PRIOR TO INSTALLATION.
 3. ALL PLANT MATERIAL SHALL MEET OR EXCEED SIZE AND SHAPE RELATIONSHIPS SPECIFIED IN THE LATEST EDITION OF THE AMERICAN STANDARDS FOR NURSERY STOCK.
 4. GENERAL CONTRACTOR TO PROVIDE STRIP AND PILE TOPSOIL FOR THE LANDSCAPE CONTRACTOR TO BACKFILL LANDSCAPE ISLANDS. MOUND LANDSCAPE ISLANDS A MIN. 18" FROM CENTER TO BACK OF CURB.
 5. A MINIMUM 4" DEPTH OF TOPSOIL TO BE SPREAD AND FINE GRADED BY THE LANDSCAPE CONTRACTOR PRIOR TO SO D INSTALLATION.
 6. PLANTING BEDS TO RECEIVE SHREDDED HARDWOOD MULCH TO A DEPTH OF 3 INCHES MINIMUM UNLESS OTHERWISE NOTED.
 7. ALL SUBSTITUTIONS OF PLANT MATERIALS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING		REMARKS
TREES							
AS	4	Acer saccharum	Sugar Maple	2.5" Cal.	B&B		Well balanced head, Straight trunk
AA	3	Amelanchier canadensis 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2" Cal.	B&B or Cont.		
CC	6	Cercis canadensis	Eastern Redbud	2" Cal.	B&B		Well balanced head, Straight trunk
PD	10	Picea glauca 'Densata'	Black Hills Spruce	6" Ht.	B&B or Cont.		Full to ground
TC	3	Tilia cordata	Littleleaf Linden	2.5" Cal.	B&B		Well balanced head, Straight trunk
SHRUBS							
CSS	35	Chaenomeles speciosa 'Scarlet Storm'	Double Take® Scarlet Storm Flowering Quince	30" Ht.	Pot		Even form
CSD	19	Cornus sericea	Red Twig Dogwood	3 gal.	Pot		Multiple stems
CDB	54	Cotoneaster dammeri 'Coral Beauty'	Coral Beauty Cotoneaster	3 gal., 18" spr.	Pot		Full pot
HPL	3	Hydrangea paniculata 'Limelight'™	Limelight Hydrangea	42" HT.	Pot		Full Pots Specimens
SG	10	Spiraea japonica 'Goldmound'	Spiraea	12" Ht.	Pot		
TMD	27	Taxus x media 'Densiformis'	Dense Yew	24"-30" HT.	Pot		Full even form
TMH	26	Taxus x media 'Hicksii'	Hicks Anglo-Japanese Yew	30" Ht.	Pot		Full to ground
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	REMARKS
GROUND COVERS							
MAR	1,966 sf	Mulch area	River Stone	Mulch	N/A		2"-3" Tan colored
PPK	15,546 sf	Poa pratensis	Kentucky Bluegrass	sod			



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MISTER CAR WASH
STORE #: MI 1454 FRASER
SITE PLANS

C1 LANDSCAPE PLAN

DATE	NOVEMBER 1, 2024
REVISIONS/SUBMITTALS	



0 10' 20'

SCALE: 1"=20'

DRAWN BY: NM

CHECKED BY: EM/JA

PROJECT MANAGER: JA

JOB #: 23000110

SHEET #:

GENERAL NOTES

- LANDSCAPE CONTRACTOR (CONTRACTOR) SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANTINGS AND RELATED WORK. LANDSCAPE CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS ON PROPERTY WITH THE GENERAL CONTRACTOR AND BY CALLING 811 PRIOR TO STAKING PLANT LOCATIONS. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES CONTACT LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE WITH ANY CONCERNS. SIZES SPECIFIED IN THE PLANT LIST ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE INSTALLED.

- PRIOR TO ANY LAND CLEARING OR CONSTRUCTION, TREE PROTECTION FENCING IS TO BE INSTALLED BY THE CONTRACTOR. THIS FENCING SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES AND SHRUBS AND MUST BE MAINTAINED AS APPROVED FOR THE DURATION OF THE PROJECT. NO CUTTING, FILING OR TRESPASSING SHALL OCCUR INSIDE THE FENCED AREAS.

- LANDSCAPE CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATIONS WITH OTHER CONTRACTORS WORKING ON SITE.
- WHERE EXISTING TREES AND/OR SIGNIFICANT SHRUB MASSINGS ARE FOUND ON SITE, WHETHER SHOWN ON THE DRAWING OR NOT, THEY SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED AND/OR ARE IN AN AREA TO BE GRADED, ANY QUESTION REGARDING WHETHER PLANT MATERIAL SHOULD REMAIN OR NOT SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.

- ALL EXISTING TREES TO REMAIN TO BE FERTILIZED AND PRUNED TO REMOVE DEAD WOOD AND DAMAGED OR RUBBING BRANCHES.
- NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT AND OWNER BY THE LANDSCAPE CONTRACTOR PRIOR TO INSTALLATION.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSESMEN. ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE STANDARDS OF THE AUTHORITY HAVING JURISDICTION AND IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS IN A NEAT, HEALTHY AND WEED FREE CONDITION.

- CONTRACTOR WILL SUPPLY FINISHED GRADE AND EXCAVATE AS NECESSARY TO SUPPLY 4" TOPSOIL DEPTH IN ALL PLANTING BEDS AND 4" TOPSOIL DEPTH IN ALL LAWN AREAS. BACKFILL AND CROWN PARKING LOT ISLANDS 6" ABOVE ADJACENT CURBS WITH TOPSOIL. BACKFILL DIRECTLY BEHIND ALL CURBS AND ALONG SIDEWALKS AND COMPACT TO TOP OF CURB OR WALK TO SUPPORT VEHICLE AND PEDESTRIAN WEIGHT WITHOUT SETTLING.

- ACCEPTANCE OF GRADING AND SOD/SEED SHALL BE BY LANDSCAPE ARCHITECT AND/OR PROJECT REPRESENTATIVE. THE LANDSCAPE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITY UNTIL FINAL ACCEPTANCE HAS BEEN RECEIVED. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REPLACEMENT OF WASH-OUTS AND OTHER OPERATIONS NECESSARY TO KEEP SOD/SEED IN A THRIVING CONDITION. UPON FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE, THE OWNER WILL ASSUME ALL MAINTENANCE RESPONSIBILITIES.

- PLANT MATERIAL LOCATIONS SHOWN ARE DIAGRAMMATIC AND MAY BE SUBJECT TO CHANGE IN THE FIELD AS REQUIRED.
- REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.

- OWNER OR OWNER'S REPRESENTATIVE SHALL INSPECT LANDSCAPE INSTALLATION AND HAVE THE RIGHT TO REJECT AND WITHHOLD PAYMENT ON ANY PLANT MATERIAL(S) OF DAMAGED OR POOR QUALITY OR NOT MEETING SPECIFICATIONS.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN-UP OF SITE AT THE COMPLETION OF LANDSCAPING EACH DAY. AT ALL TIMES THE SIDEWALKS SHALL BE MAINTAINED CLEAN AND FREE OF DEBRIS. REMOVE SURPLUS SOIL AND WASTE MATERIAL, TRASH AND DEBRIS FROM THE SITE AND LEGALLY DISPOSE OF SAME IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES AND REGULATIONS.

- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR SOIL, EROSION AND DUST CONTROL MEASURES PRIOR TO AND DURING CONSTRUCTION. THE LANDSCAPE CONTRACTOR SHALL PREVENT EROSION OF SOIL AND ENTRY OF SOIL-BEARING WATER AND AIRBORNE DUST ONTO ADJACENT PROPERTIES AND INTO THE PUBLIC STORMWATER FACILITIES. REFER TO EROSION CONTROL PLANS FOR DETAILS.

MANUFACTURER'S INSTRUCTIONS UNLESS NOTED OTHERWISE.

- TREE STAKING: IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO STAKE AND/OR GUY THE TREES ACCORDING TO THE DETAILS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE EVERY STEP NECESSARY TO MAINTAIN THE TREES AND SHRUBS IN AN UPRIGHT AND PLUMB CONDITION AT ALL TIMES UNTIL THE END OF THE PLANT GUARANTEE PERIOD ESPECIALLY WHERE VANDALISM, SOIL OR WIND CONDITIONS ARE A PROBLEM. AT END OF GUARANTEE PERIOD ALL STAKES SHALL BE REMOVED BY LANDSCAPE CONTRACTOR. ALL STAKES USED FOR TREE SUPPORTS SHALL POINT AWAY FROM ANY AND ALL CIRCULATION ROUTES.

- TREE WRAPPING: WRAPPING MATERIAL SHALL BE QUALITY, HEAVY WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO 12-1 AND REMOVE ALL WRAPPING AFTER 5-1.

- EDGING: EDGING SHALL BE SPADE EDGED.

- FERTILIZER: JUMP-SHOT ROOT STIMULATOR AS MANUFACTURED BY ACME, OR APPROVED EQUAL, SHALL BE APPLIED TO THE SOIL BACKFILL OF EACH PLANT DURING INSTALLATION.
- PLANT SIZING: MEASURE TREES AND SHRUBS ACCORDING TO ANSI Z60.1 STANDARDS. TAKE CALIPER MEASUREMENTS 6 INCHES ABOVE GROUND FOR TREES UP TO 4" CALIPER AND 12 INCHES ABOVE GROUND FOR LARGER TREES. ALWAYS HANDLE BALLED AND BURLAPPED MATERIAL BY THE ROOT BALL. PLANT MATERIAL SHALL BE DELIVERED TO THE SITE AND PLANTED THE SAME DAY.

- PLANTING PLAN: ALL PROPOSED PLANTS SHALL BE LOCATED CAREFULLY AS SHOWN ON THE PLANS. PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES. RESPECT STATED DIMENSIONS. DO NOT SCALE DRAWINGS.

MAINTENANCE / WARRANTY

- MAINTENANCE OF PLANT MATERIALS AND LAWN AREAS SHALL BEGIN IMMEDIATELY AFTER INSTALLATION AND SHALL CONTINUE UNTIL FINAL ACCEPTANCE, BUT IN NO CASE, LESS THAN THE PERIOD STATED IN THE APPLICABLE LOCAL ORDINANCE.
- AFTER REQUIRED MAINTENANCE PERIOD, THE OWNER, UPON REQUEST, WILL MAKE AN INSPECTION TO DETERMINE ACCEPTABILITY. UNACCEPTABLE WORK SHALL BE REPAIRED OR REPLACED AND REINSPECTED BEFORE FINAL ACCEPTANCE IS GRANTED.

- A WRITTEN WARRANTY SHALL BE PROVIDED TO THE OWNER GUARANTEEING THAT ALL PLANT MATERIALS, SOD, AND/OR SEED AREAS WILL BE THRIVING FOR THE FOLLOWING STATED PERIODS: TREES, SHRUBS, AND GROUND COVERS - ONE YEAR AFTER FINAL ACCEPTANCE. SOD AND SEED AREAS - 90 DAYS AFTER FINAL ACCEPTANCE. PERENNIALS - 90 DAYS AFTER FINAL ACCEPTANCE.

- THE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS REGARDING MAINTENANCE OF EACH TYPE OF VEGETATION. THE OWNER IS RESPONSIBLE FOR PROPER MAINTENANCE OF THE MATERIALS DURING THE WARRANTY PERIOD AS OUTLINED IN THE MAINTENANCE INSTRUCTIONS. THE CONTRACTOR SHALL MAKE PERIODIC INSPECTIONS OF THE SITE AND WILL INFORM THE OWNER OF ANY LACK OF PROPER MAINTENANCE IN WRITING. OWNER'S FAILURE TO COMPLY WITH THE MAINTENANCE PROGRAM SHALL RENDER THE WARRANTY NULL AND VOID.

- THE CONTRACTOR IS NOT RESPONSIBLE FOR ACTS OF NATURE INCLUDING ABNORMAL WEATHER CONDITIONS, EROSION, VANDALISM, NOR DAMAGES BY OTHERS, IF ANY CONDITIONS BEYOND THE CONTROL OF THE CONTRACTOR SHOULD OCCUR, THE MATERIALS AFFECTED WILL NO LONGER BE COVERED BY THE WARRANTY.

PLANT MATERIALS

- PROVIDE PLANTS OF QUANTITY, SIZE, GENUS, SPECIES, AND VARIETY SHOWN AND SCHEDULED AND IN CONFORMANCE WITH THE REQUIREMENTS OF ANSI Z60.1 AMERICAN STANDARD FOR NURSERY STOCK. PLANTS SHALL HAVE BEEN GROWN IN A RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE.

- ALL PLANTS SHALL BE FULL, WELL-BRANCHED PLANTS CHARACTERISTIC OF THE SPECIES. PLANTS SHALL BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS, OR DISFIGUREMENT.

- PLANT STOCK SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO CONDITIONS IN THE LOCALITY OF THE PROJECT.

- LABEL AT LEAST ONE PLANT OF EACH KIND WITH A SECURELY ATTACHED WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME.

- PROVIDE FRESHLY DUG BALLED & BURLAPPED PLANT MATERIALS. DO NOT DROP BALLED & BURLAPPED STOCK DURING DELIVERY.

- DO NOT REMOVE CONTAINER-GROWN STOCK FROM CONTAINERS UNTIL PLANTING TIME.

INSTALLATION

- INSTALL TREES AND SHRUBS ACCORDING TO STANDARD DETAILS SHOWN ON THE PLAN.

- ALL TREE SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.

- ALL TREE SAUCERS AND SHRUB BEDS SHALL BE MULCHED WITH A 3-INCH LAYER OF ORGANIC TRIPLE SHREDDED HARDWOOD BARK MULCH. NON-ORGANIC MULCHES SUCH AS GRAVEL, CRUSHED BRICK, LAVA ROCK, ETC. ARE UNACCEPTABLE.

- TREE GUYING SHALL BE REMOVED AFTER ONE FULL GROWING SEASON.

- APPLY 12 CUBIC FEET OF PEAT MOSS PER 100 SQUARE FEET AND 20 POUNDS OF 8-8-8 FERTILIZER PER 100 SQUARE FEET OF GROUND COVER PLANTING BEDS. ROTOTILL THE BEDS TO A DEPTH OF 6 INCHES AND SMOOTH TO AN EVEN AND UNIFORM SURFACE. PLANT GROUND COVER MATERIALS, APPLY 2 INCHES OF ORGANIC MULCH, AND WATER.

PLANTING NOTES

- NO PLANTING TO BE INSTALLED UNTIL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.

- SEE CIVIL/SITE PLAN FOR ALL SITE DIMENSIONS, SQUARE FOOTAGES, PARKING CALCULATIONS, AND DETAILS OF ALL SITE IMPROVEMENTS.

- IF THE LANDSCAPE CONTRACTOR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS, OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT MATERIAL ESTABLISHMENT, SURVIVAL, OR GUARANTEE, THEY SHALL BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

- PRIOR TO ANY LAND CLEARING OR CONSTRUCTION, TREE PROTECTION FENCING IS TO BE INSTALLED BY THE CONTRACTOR. THIS FENCING SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES AND SHRUBS (TO BE PROTECTED) ACCORDING TO THE TREE PROTECTION DETAIL AND MUST BE MAINTAINED FOR THE DURATION OF THE PROJECT. NO CUTTING, FILING OR TRESPASSING SHALL OCCUR INSIDE THE FENCED AREAS WITHOUT APPROVAL.

- ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. PLANT MATERIALS ARE TO BE PLANTED IN THE SAME RELATIONSHIP TO GRADE AS WAS GROWN IN NURSERY CONDITIONS. IF WET, CLAY SOILS OR POOR DRAINING SOILS ARE EVIDENT, PLANT HIGHER, REMOVE ALL TWINE, WIRE AND BURLAP FROM TOP 1/3 OF ROOT BALL AND FROM TREE TRUNKS.
- ONE SHRUB PER TYPE AND SIZE IN EACH PLANTING BED AND EVERY TREE SHALL BE CLEARLY IDENTIFIED (COMMON OR LATIN NOMENCLATURE) WITH A PLASTIC TAG WHICH SHALL NOT BE REMOVED PRIOR TO OWNER ACCEPTANCE.

- SEED AND/OR SOD ALL AREAS DISTURBED DUE TO GRADING AND CONSTRUCTION ACTIVITIES, WHERE SOD/SEED ADJUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND. REFER TO PLAN FOR SOD/SEED LOCATIONS

- PRUNE, THIN AND SHAPE TREES AND SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. APPLY MINIMUM 4" MULCH CUP AT ALL TREES NOT PLANTED IN PLANTING BEDS.

- EXISTING LAWN AREAS TO BE SAVED AND AREAS THAT ARE DAMAGED DURING CONSTRUCTION MUST BE INSPECTED TO DETERMINE VIABILITY. IF THE EXISTING LAWN IS FOUND TO BE LEVEL, HEALTHY, DENSE & FREE FROM WEEDS, LAWN MAY NOT REQUIRE REPLACEMENT OR RENOVATION. IF RENOVATION IS REQUIRED OR IS PART OF THE APPROVED PLAN, THEN THE FOLLOWING REQUIREMENTS WILL APPLY:

EXISTING LAWN FOUND TO BE IN POOR CONDITION MUST FIRST BE SPRAYED WITH ROUND-UP (OR EQUAL) TO KILL THE EXISTING LAWN AND WEED AREAS. WAIT A MIN. OF (10) DAYS FOR THE HERBICIDE TO TAKE EFFECT, THEN REMOVE ALL DEAD SOD & WEEDS TO A MIN. DEPTH OF (2) INCHES. ADD A MIN. OF 6 INCHES OF NEW TOPSOIL TO ALL LAWN AREAS. BACKFILL AND COMPACT TOPSOIL TO THE TOP OF ALL CURBS & WALKS PRIOR TO SODDING. REGRADE TO ELIMINATE ALL BUMPS & DEPRESSIONS AND RESEED ALL AREAS.

EXISTING LAWN FOUND TO BE IN GOOD CONDITION, BUT WITH BARE, SPARSE OR WEEDY AREAS MUST BE RENOVATED BY FILLING IN LOW AREAS, RAKING, OVERSEEDING AND TOP DRESSING ALL SPARSE AND BARE SPOTS AND BY INITIATING A WEED AND FEED PROGRAM.

- CONVERSION OF ALL ASPHALT AND GRAVEL AREAS TO LANDSCAPE SHALL BE DONE IN THE FOLLOWING MANNER:

A. REMOVE ALL ASPHALT, GRAVEL AND COMPACTED EARTH TO A DEPTH OF 24"-30" DEPENDING ON THE DEPTH OF SUB BASE AND DISPOSE OF OFF SITE.

B. REPLACE EXCAVATED MATERIAL W/ GOOD, MEDIUM TEXTURED PLANTING SOIL (LOAM OR LIGHT YELLOW CLAY) TO A MIN. OF 2" ABOVE TOP OF CURB AND SIDEWALK, ADD 4"-6" OF TOPSOIL AND CROWN TO A MIN. OF 8" ABOVE ADJACENT CURB AND WALK AFTER EARTH SETTLING, UNLESS NOTED OTHERWISE ON THE PLANS.

IF CONVERSION TO LANDSCAPE OCCURS IN AN EXISTING (OR BETWEEN) LANDSCAPE AREAS, REPLACE EXCAVATED MATERIAL TO 4"-6" BELOW ADJACENT EXISTING GRADE W/ GOOD MEDIUM TEXTURED PLANTING SOIL (LOAM OR LIGHT YELLOW CLAY) AND ADD 4"-6" OF TOPSOIL TO MEET EXISTING GRADES AFTER EARTH SETTLING.

- ALL TREE PITS MUST BE TESTED FOR PROPER DRAINAGE PRIOR TO PLANTING TREES. A DRAINAGE SYSTEM MUST BE INSTALLED IF PLANTING PIT DOES NOT DRAIN SUFFICIENTLY. (REQUIRED IN HEAVY CLAY SOILS)

- ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESS WATER FROM STANDING ON LAWN AREAS OR AROUND TREES & SHRUBS.

- ALL MULCH RINGS AND SHRUB BEDS IN LAWN AREAS SHALL BE EDGED WITH A MANICURED EDGE OR WITH MANUFACTURED EDGING AS INDICATED.

- MULCHING AND WATERING OF ALL PLANTS & TREES SHALL BE IMMEDIATELY OR WITHIN 16 HOURS AFTER INSTALLATION.

LAWN INSTALLATION

- LAWN AREAS SHALL BE PREPARED ACCORDING TO THE SECTION BELOW ENTITLED "SEEDBED PREPARATION".

- LOCALLY-GROWN SOD SHALL BE PROVIDED IN AREAS WHERE SEEDING IS NORMALLY UNSUCCESSFUL OR WILL BE UNSUCCESSFUL DUE TO CLIMATE, SEASON, OR OTHER TEMPORARY CONSTRAINT. SOD SHALL BE STRONGLY ROOTED, FREE OF WEEDS, AND OF UNIFORM THICKNESS WITH NO MORE THAN 1.5 INCHES OR LESS THAN 1 INCH OF SOIL.

- SOD SHALL BE TIGHTLY-FITTED TOGETHER. ENDS AND EDGES SHALL MEET WITHOUT OVERLAP AND JOINTS SHALL BE STAGGERED WITH ADJACENT ROWS. AFTER INSTALLATION, SOD SHALL BE THOROUGHLY WATERED. ON SLOPES STEEPER THAN 2:1, SOD SHALL BE HELD IN PLACE WITH WOODEN STAKES MEASURING 1 INCH SQUARE BY 6 INCHES LONG. STAKES SHALL BE DRIVEN FLUSH WITH THE TOP OF THE SOD'S SOIL LAYER.

- PROVIDE GRASS SEED THAT IS FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSTS OF NORTH AMERICA. PROVIDE SEED TYPE OR SEED MIX WITH BEST RECORD OF SUCCESS IN LOCALITY OF PROJECT OR PER PROJECT SPECIFICATIONS. REFER TO PLAN.

- APPLY SEED AT THE APPROPRIATE RATE, PER APPLICABLE SPECIFICATIONS, FOR ESTABLISHING A NEW LAWN. SOW SEED USING A SPREADER OR SEEDING MACHINE. DISTRIBUTE SEED EVENLY OVER ENTIRE AREA BY SOWING EQUAL QUANTITY IN 2 DIRECTIONS AT RIGHT ANGLES TO EACH OTHER. RAKE SEED LIGHTLY INTO TOP 1/8-INCH OF SOIL. ROLL LIGHTLY, AND WATER WITH A FINE SPRAY.

- PROTECT ALL SEEDBED AREAS AGAINST EROSION BY SPREADING A CLEAN, SEED FREE SALT HAY OR THRESHED STRAW OF WHEAT, RYE, OATS, OR BARLEY, SPREAD UNIFORMLY TO FORM A CONTINUOUS BLANKET NOT LESS THAN 1.5 INCHES LOOSE MEASUREMENT OVER SEEDBED AREA.

- TREATMENTS SUCH AS JUTE MESH, EXCELSIOR MATTING, OR FIBERGLASS ROVING SHALL BE USED TO STABILIZE DITCHES OR STEEP SLOPES SUSCEPTIBLE TO EROSION. THE TREATMENT SHALL BE INSTALLED PRIOR TO THE MULCHING OPERATION.

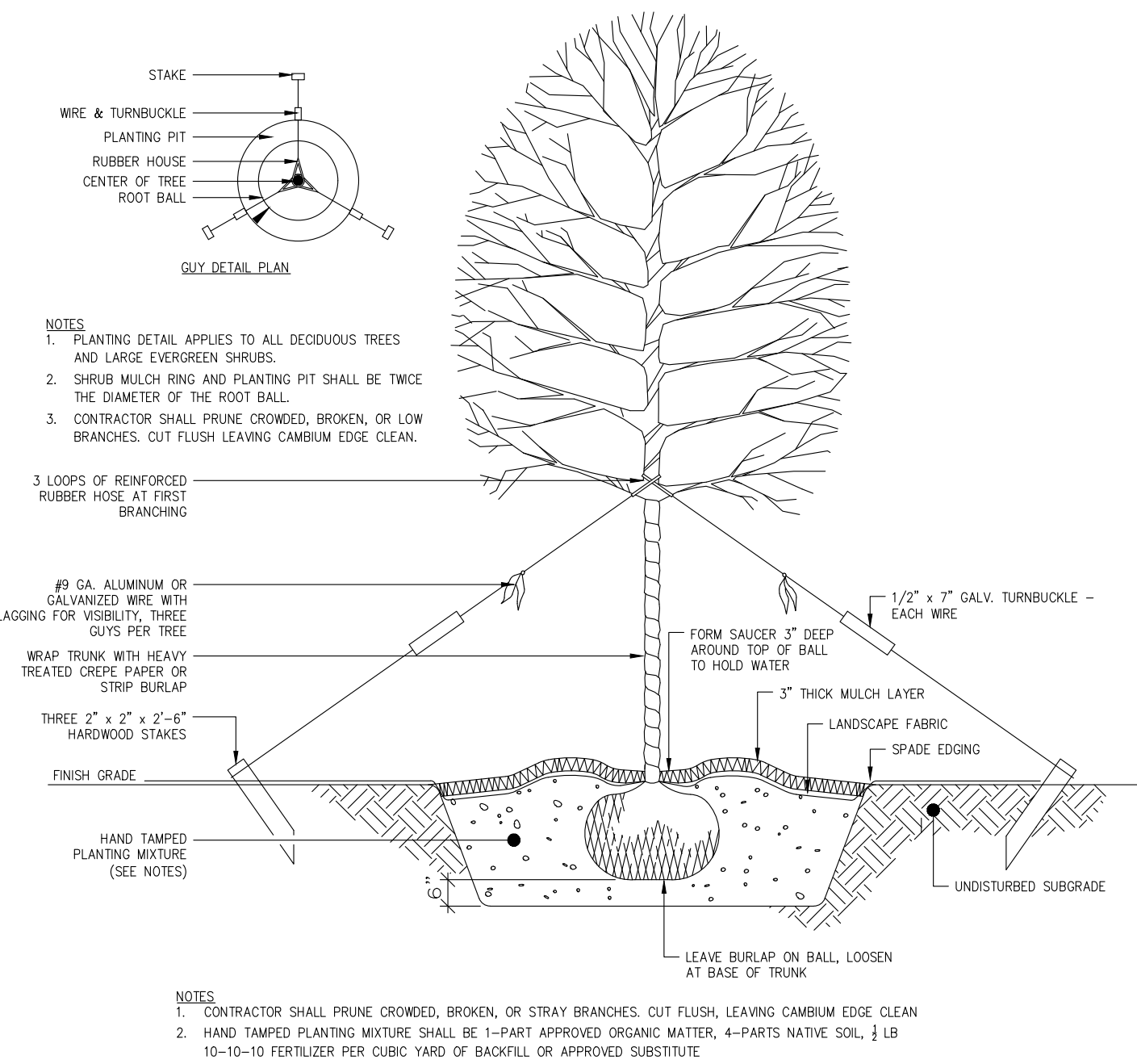
SEEDBED PREPARATION

- ALL DISTURBED AREAS SHALL BE DRESSED TO THE TYPICAL SECTIONS AND/OR GRADES SHOWN AND PLOWED TO A DEPTH OF 5 INCHES. THE TOP 2 INCHES SHALL BE PULVERIZED TO PROVIDE A UNIFORM SEEDBED.

- REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER DEBRIS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM. SOIL LEVEL SHALL BE APPROXIMATELY 1 INCH BELOW ALL TOPS OF CURBS AND WALKWAYS.

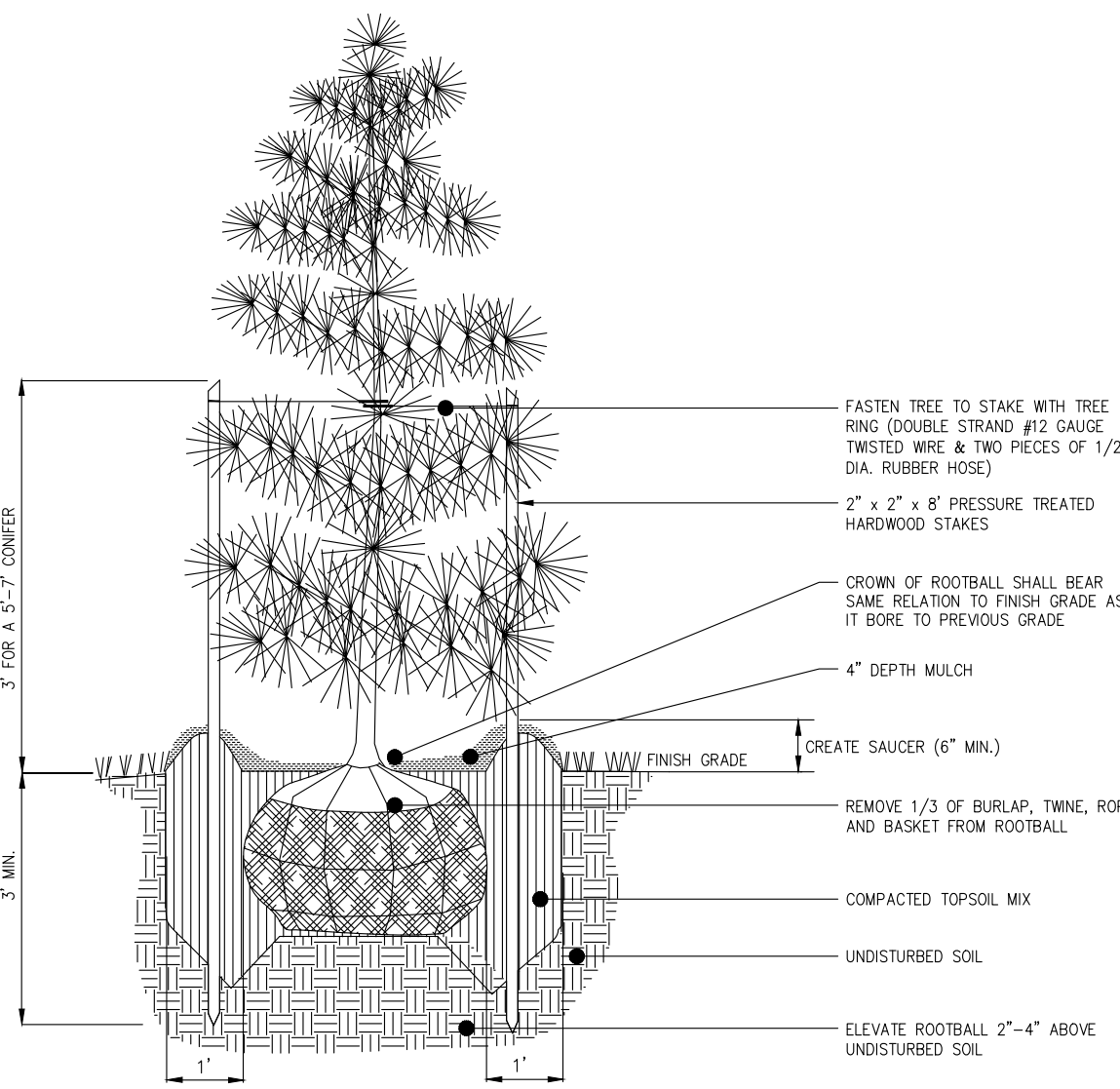
- APPLY LIME AND FERTILIZER WITH NECESSARY EQUIPMENT TO ENSURE UNIFORM DISTRIBUTION OF THE MATERIALS. THE HAND/BUCKET METHOD IS NOT ACCEPTABLE. THE RATES AND TYPES OF MATERIALS TO BE APPLIED ARE AS FOLLOWS:
TURFGRADE FERTILIZER WITH SLOW RELEASE NITROGEN (E.G. 18-24-10) - RATE THAT WILL PROVIDE 5 LBS. OF PHOSPHORUS PER 1000 SQUARE FEET
LIMESTONE - 75 LBS. PER 1000 SQUARE FEET
(LIMESTONE MAY BE WAIVED IF EXISTING PH IS GREATER THAN 5.5.)

- MOISTEN PREPARED LAWN AREAS BEFORE PLANTING IF SOIL IS DRY. ALLOW SURFACE MOISTURE TO DRY BEFORE PLANTING LAWNS. DO NOT CREATE A MUDDY SOIL CONDITION.



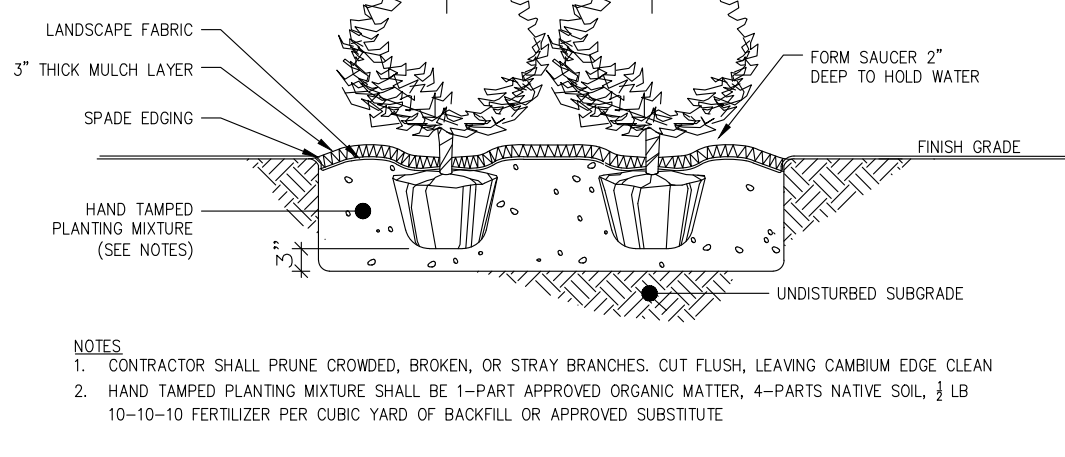
DECIDUOUS CANOPY TREE PLANTING DETAIL

NOT TO SCALE



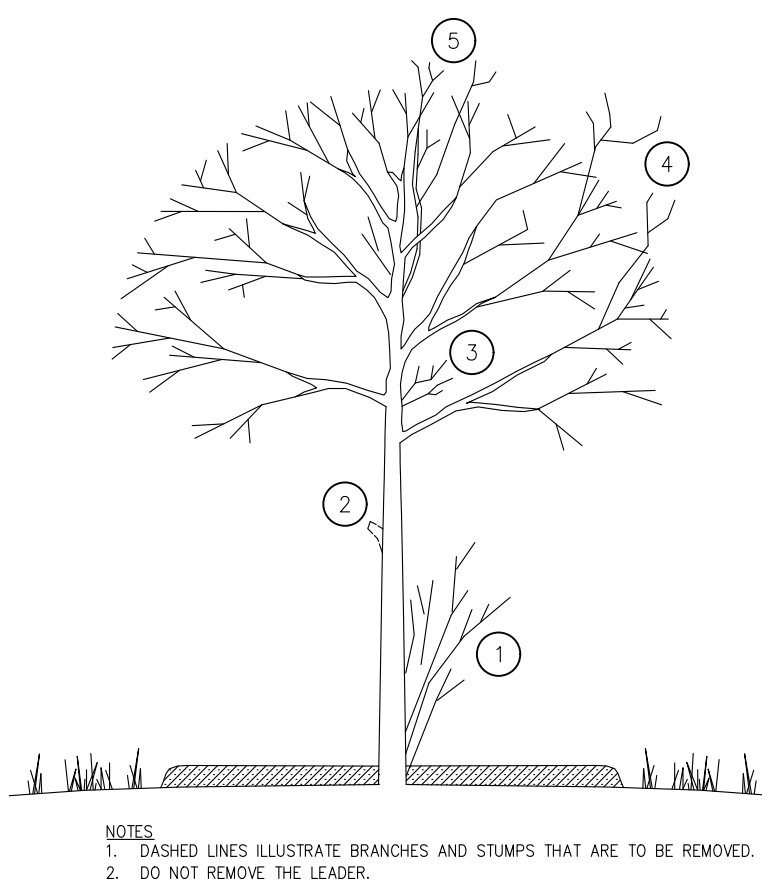
CONIFEROUS TREE PLANTING DETAIL

NOT TO SCALE



CONTAINER SHRUB PLANTING DETAIL

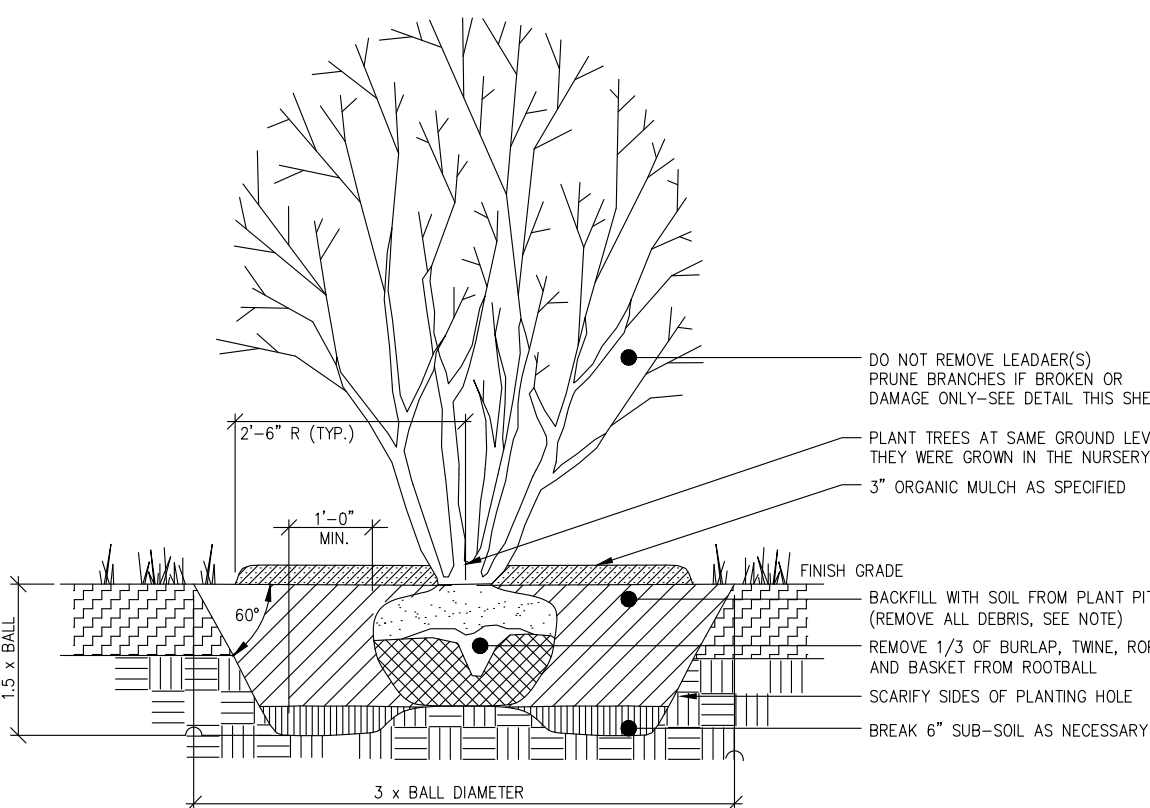
NOT TO SCALE



- REMOVE SUCKERS & SHOOTS ARE BASE OF TREE
- MAKE CLEAN CUTS ON OLD STUBS, IF PRESENT
- REMOVE ENTIRE SUPPLY OF TWIGS & BUDS ON TRUNK
- SHAPE TREE BY REMOVING DAMAGED & MISSHAPEN BRANCHES
- REMOVE CROSS BRANCHES & THOSE DEVELOPING INTO SECONDARY LEADERS

DECIDUOUS TREE PRUNING DETAIL

NOT TO SCALE



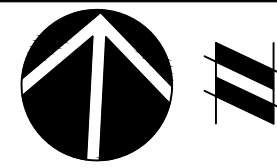
- DO NOT REMOVE LEADERS
- PRUNE BRANCHES IF BROKEN OR DAMAGE ONLY-SEE DETAIL THIS SHEET
- PLANT TREES AT SAME GROUND LEVEL THEY WERE GROWN IN THE NURSERY
- 5" ORGANIC MULCH AS SPECIFIED

MULTI-STEMMED PLANTING DETAIL

NOT TO SCALE

EARTH/SPADE EDGE DETAIL

NOT TO SCALE



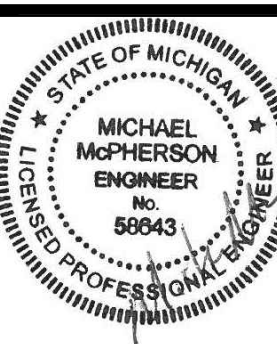
ATWELL
866.850.4200 www.atwell-group.com
12745 83rd AVE, SUITE 200
TUCSON, AZ 85705
SHELL (520) 786-9800

222 E. 5TH STREET
TUCSON, AZ 85705
www.mistercarwash.com

Mister
LANDSCAPING DETAILS

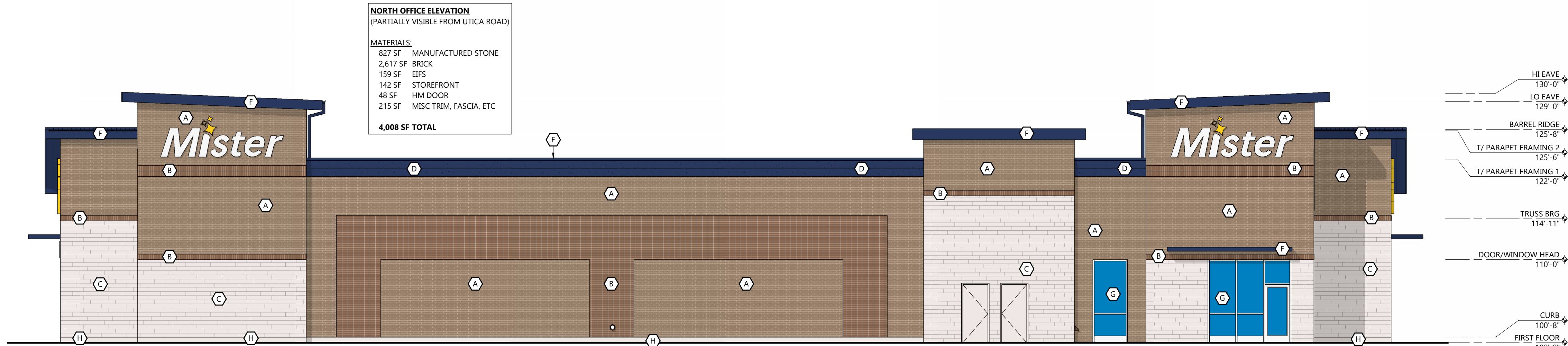
MISTER CAR WASH
STORE #MI 1454 FRASER
SITE PLANS

DATE: NOVEMBER 1, 2024
REVISIONS/SUBMITTALS

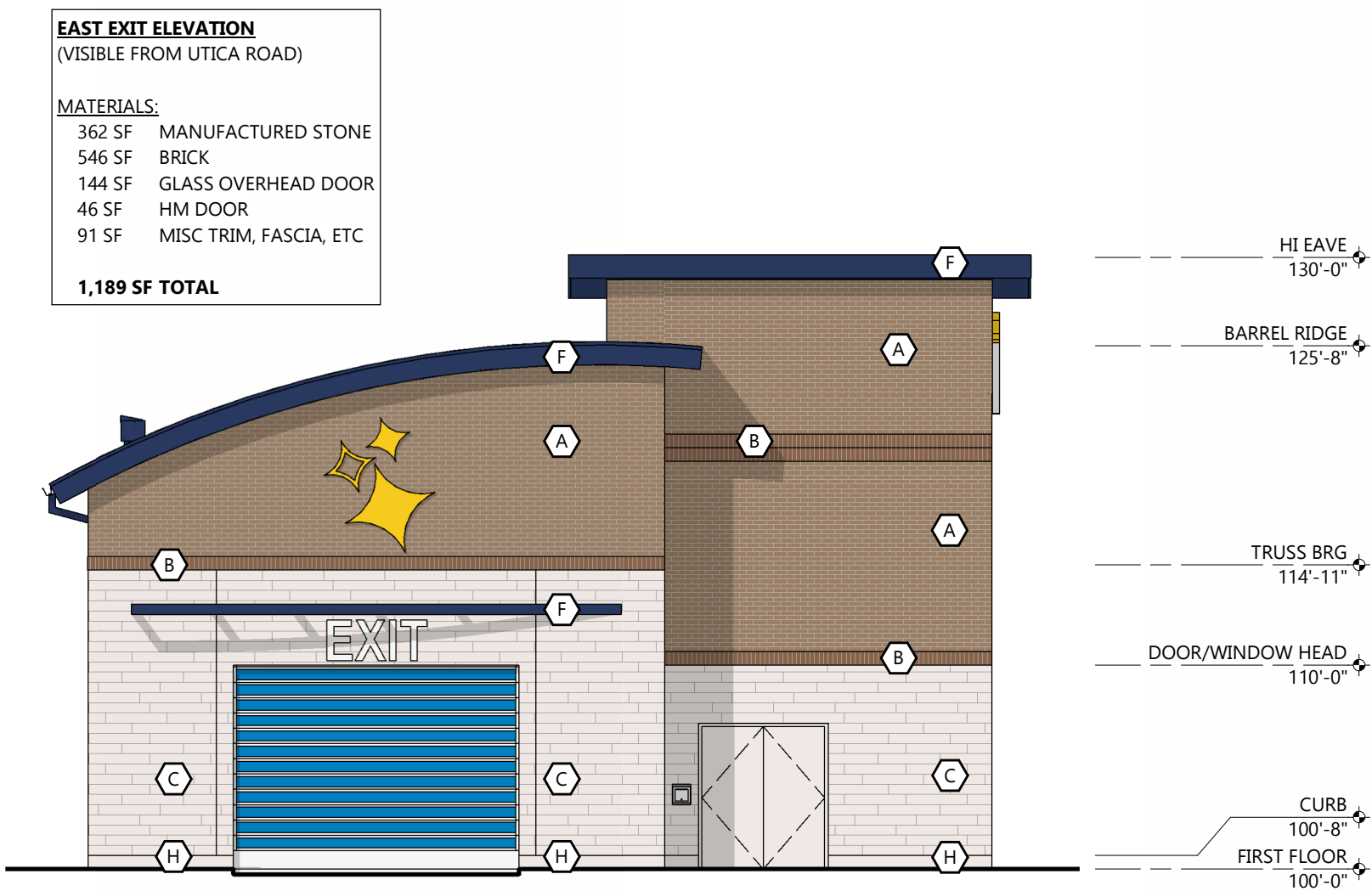


0 10' 20'
SCALE: 1"=20'

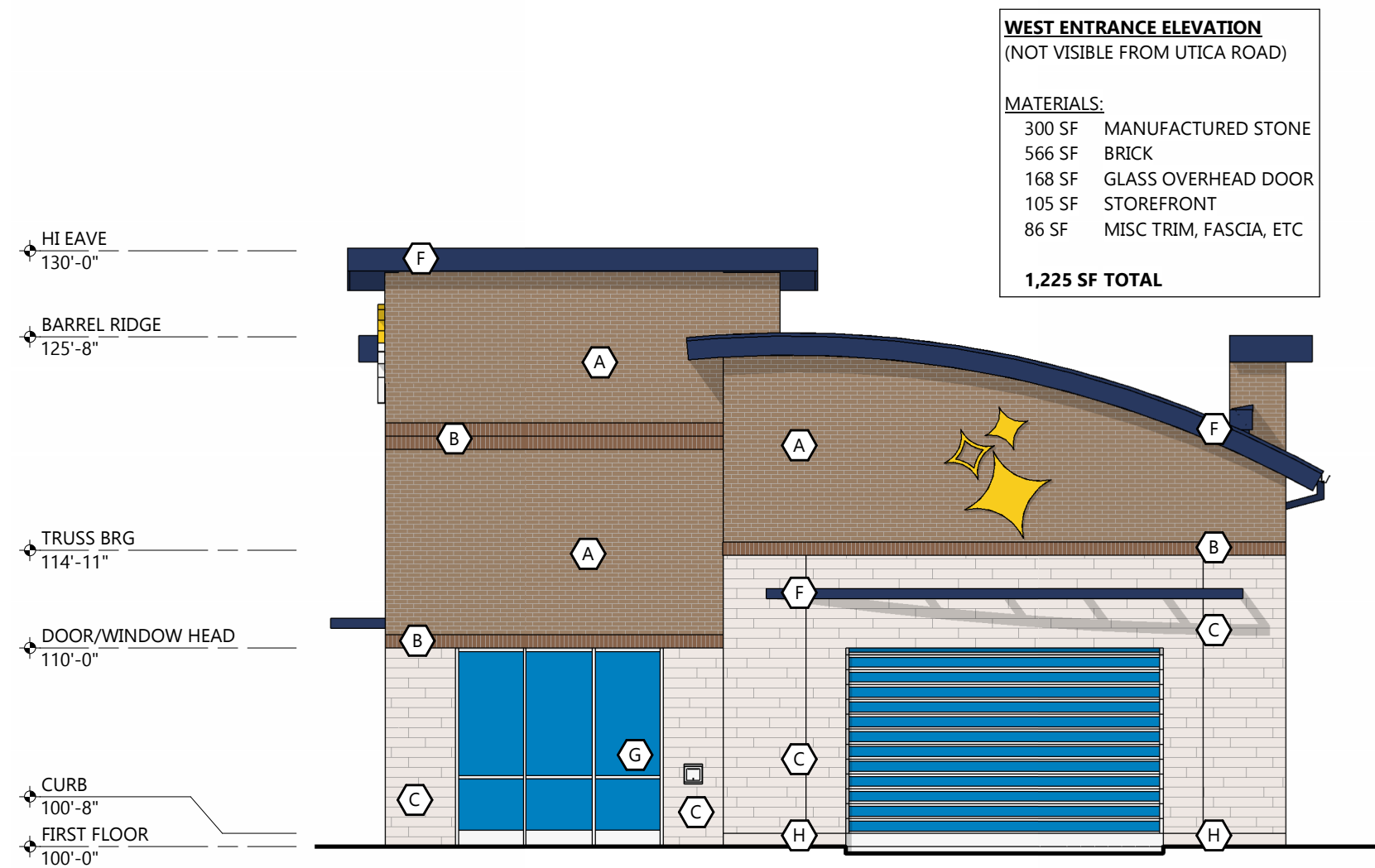
DRAWN BY: NM
CHECKED BY: EM/JA
PROJECT MANAGER: JA
JOB #: 23000110
SHEET #:



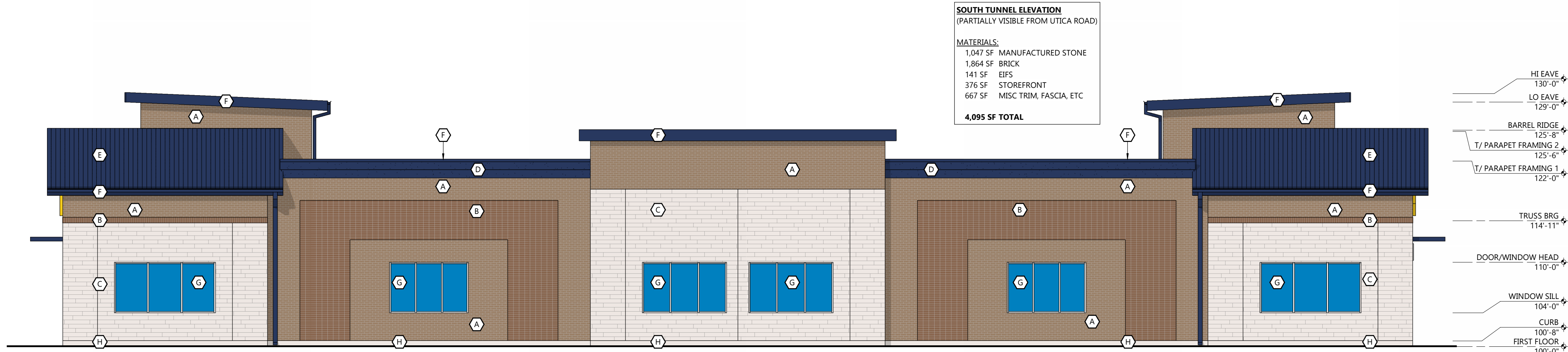
OFFICE ELEVATION - NORTH
SCALE: 1/8" = 1'-0"



EXIT ELEVATION - EAST
SCALE: 1/8" = 1'-0"



ENTRANCE ELEVATION - WEST
SCALE: 1/8" = 1'-0"



TUNNEL ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL KEY

- A** BRICK VENEER (RUNNING BOND)
MFR: BELDEN BRICK
COLOR: TUMBLEWEED VELOUR w/ GRAY MORTAR
- B** BRICK VENEER (STACKED BOND & SOLDIER)
MFR: BELDEN BRICK
COLOR: SEAL BROWN VELOUR w/ GARY MORTAR
- C** STONE VENEER
MFR: EL DORADO STONE
STYLE: VANTAGE 30 (6"H x 30"L x ~1"D)
COLOR: WHITE ELM w/ MATCHING MORTAR JOINT
- D** EPS
TEXTURE: SAND
COLOR: PT-9 (IN THE NAVY)
- E** PREFINISHED STANDING SEAM METAL ROOF PANEL
MFR: CTMRS (OR EQUAL)
STYLE: LARGE BATTEN 24 GA
COLOR: PT-9 (IN THE NAVY)
- F** PREFINISHED ALUMINUM WALL PANEL
MFR: CTMRS (OR EQUAL)
COLOR: PT-9 (IN THE NAVY)
STYLE: R PANEL
- G** ALUMINUM STOREFRONT SYSTEM
GLAZING: CLEAR
FRAME: CLEAR ANODIZED
- H** CONCRETE CURB
TEXTURE: HAND RUB
COLOR TO MATCH STONE
- I** SIDING TREX BOARD
COLOR TO MATCH PT-3

GENERAL NOTES

- ALL SIGNAGE SHOWN FOR INFORMATIONAL PURPOSES ONLY. ALL ADVERTISING SIGNAGE SUBJECT TO SEPARATE SIGN PERMIT SUBMITTAL AND APPROVAL.

PROJECT INFORMATION

PROPOSED CARWASH
MISTER CAR WASH (MI 1449 FRASER)
34625 UTICA ROAD • FRASER, MI 48026

(160L - V1.2 - ZONE 1)

PROFESSIONAL SEAL

PRELIMINARY DATES

JULY 11, 2024
NOV. 1 2024

JOB NUMBER

230116500

SHEET NUMBER

PRE-1

PROJECT INFORMATION

PROPOSED CARWASH
MISTER CAR WASH (MI 1449 FRASER)
34625 UTICA ROAD • FRASER, MI 48026

(160L - V1.2 - ZONE 1)

PROFESSIONAL SEAL

PRELIMINARY DATES

JULY 11, 2024
NOV. 1 2024

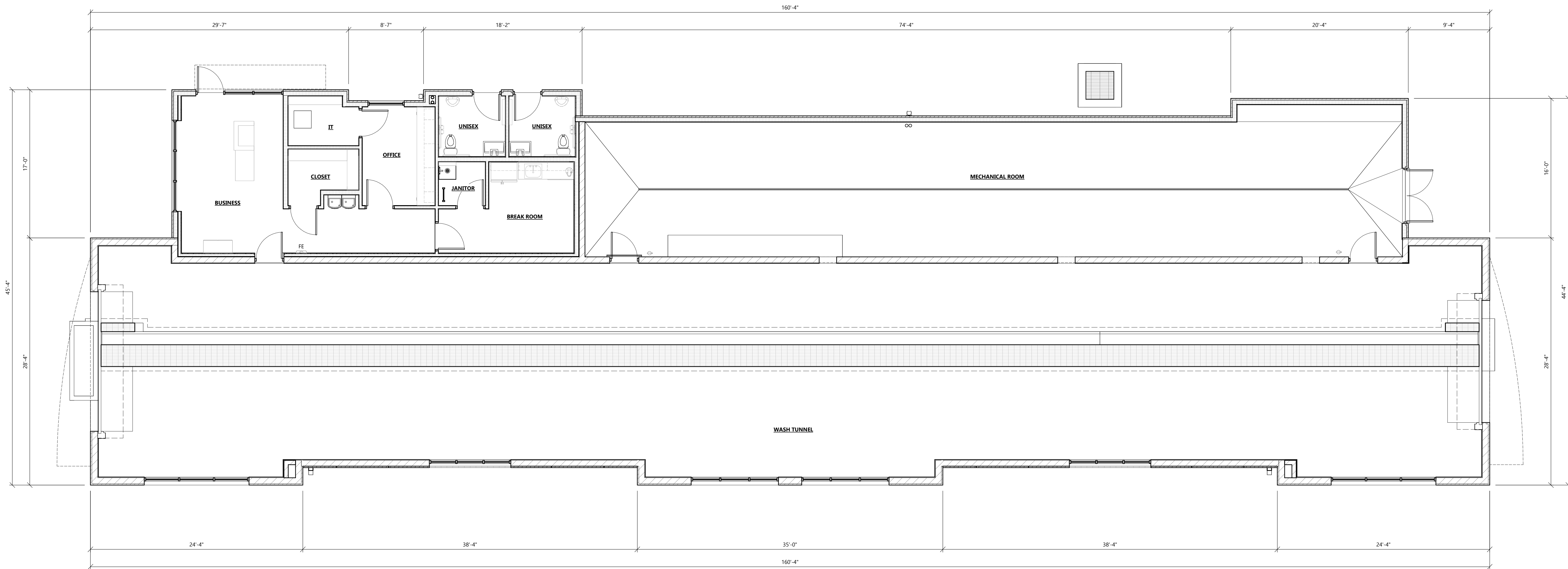
NOT FOR CONSTRUCTION

JOB NUMBER

230116500

SHEET NUMBER

PRE-2



FLOOR PLAN
SCALE: 3/16" = 1'-0"
0' 5' 10'

PROJECT INFORMATION

PROPOSED CARWASH
MISTER CAR WASH (MI 1449 FRASER)
34625 UTICA ROAD • FRASER, MI 48026

(160L - V1.2 - ZONE 1)

PROFESSIONAL SEAL

PRELIMINARY DATES

JULY 11, 2024

NOT FOR CONSTRUCTION

JOB NUMBER

230116500

SHEET NUMBER

PRE-3

EXTERIOR MATERIAL KEY

- A** BRICK VENEER (RUNNING BOND)
MFR: BELDEN BRICK
COLOR: TUMBLEWEED VELOUR w/ GRAY MORTAR
- B** BRICK VENEER (STACKED BOND & SOLDIER)
MFR: BELDEN BRICK
COLOR: SEAL BROWN VELOUR w/ GARY MORTAR
- C** STONE VENEER
MFR: EL DORADO STONE
STYLE: VANTAGE 30 (6"H x 30"L x ~1"D)
COLOR: WHITE ELM w/ MATCHING MORTAR JOINT
- D** EPS
TEXTURE: SAND
COLOR: PT-9 (IN THE NAVY)
- E** PREFINISHED STANDING SEAM METAL ROOF PANEL
MFR: CTMRS (OR EQUAL)
STYLE: LARGE BATTEN 24 GA
COLOR: PT-9 (IN THE NAVY)
- F** PREFINISHED ALUMINUM WALL PANEL
MFR: CTMRS (OR EQUAL)
COLOR: PT-9 (IN THE NAVY)
STYLE: R PANEL
- G** ALUMINUM STOREFRONT SYSTEM
GLAZING: CLEAR
FRAME: CLEAR ANODIZED
- H** CONCRETE CURB
TEXTURE: HAND RUB
COLOR: TO MATCH STONE
- I** SIDING TREX BOARD
COLOR: TO MATCH PT-3

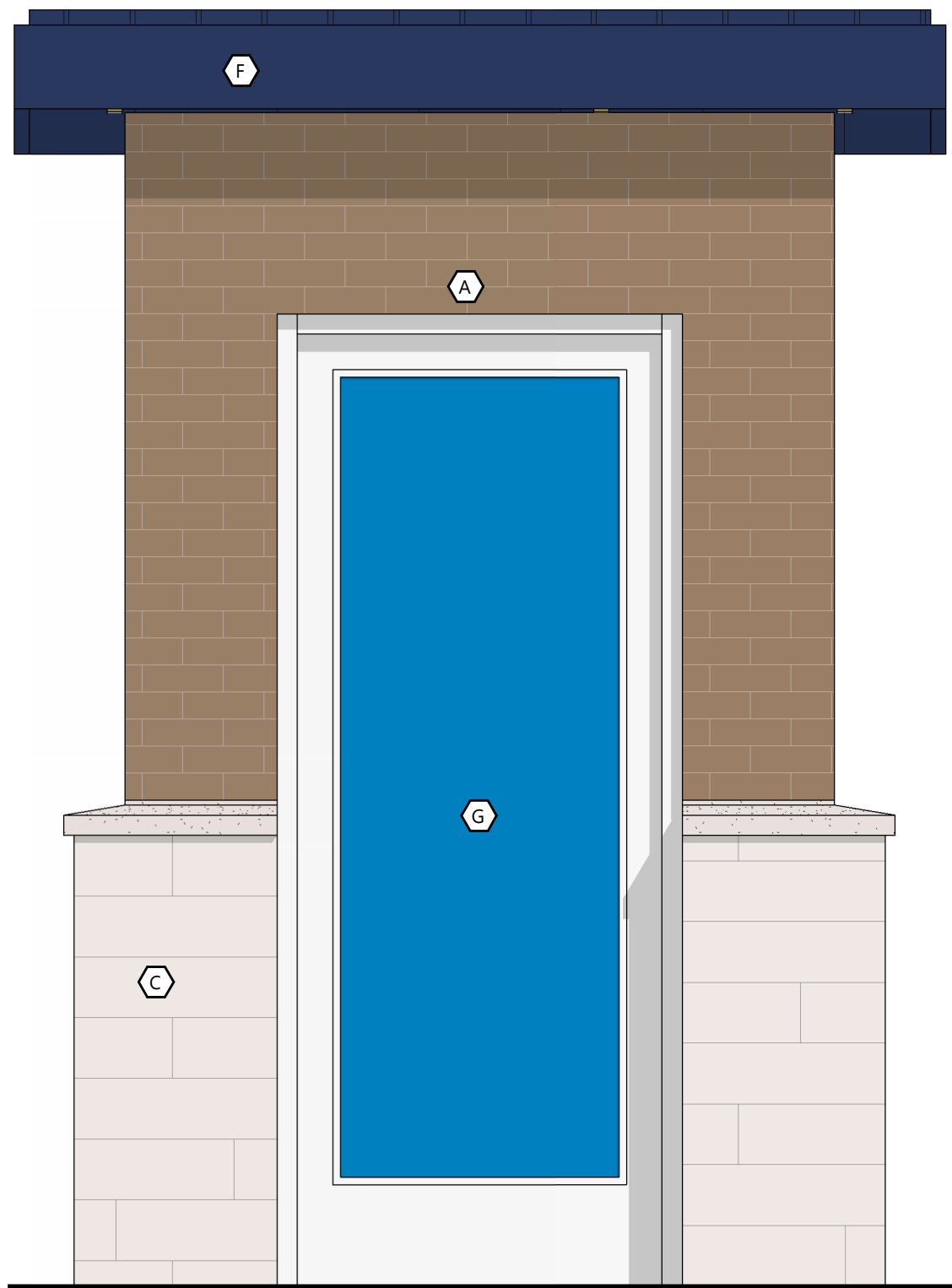
GENERAL NOTES

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LEFT ELEVATION

SCALE: 3/4" = 1'-0"



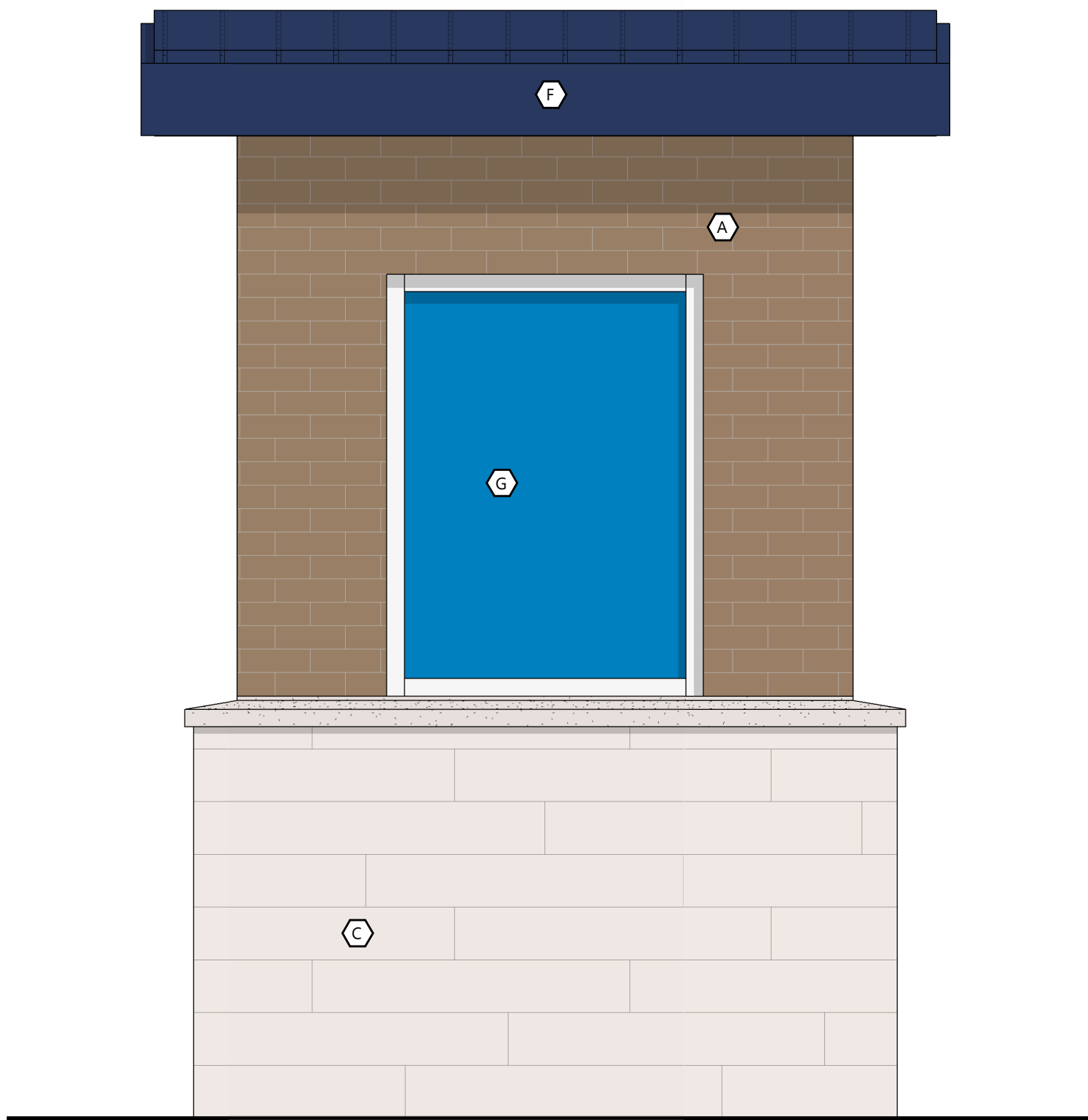
FRONT ELEVATION

SCALE: 3/4" = 1'-0"



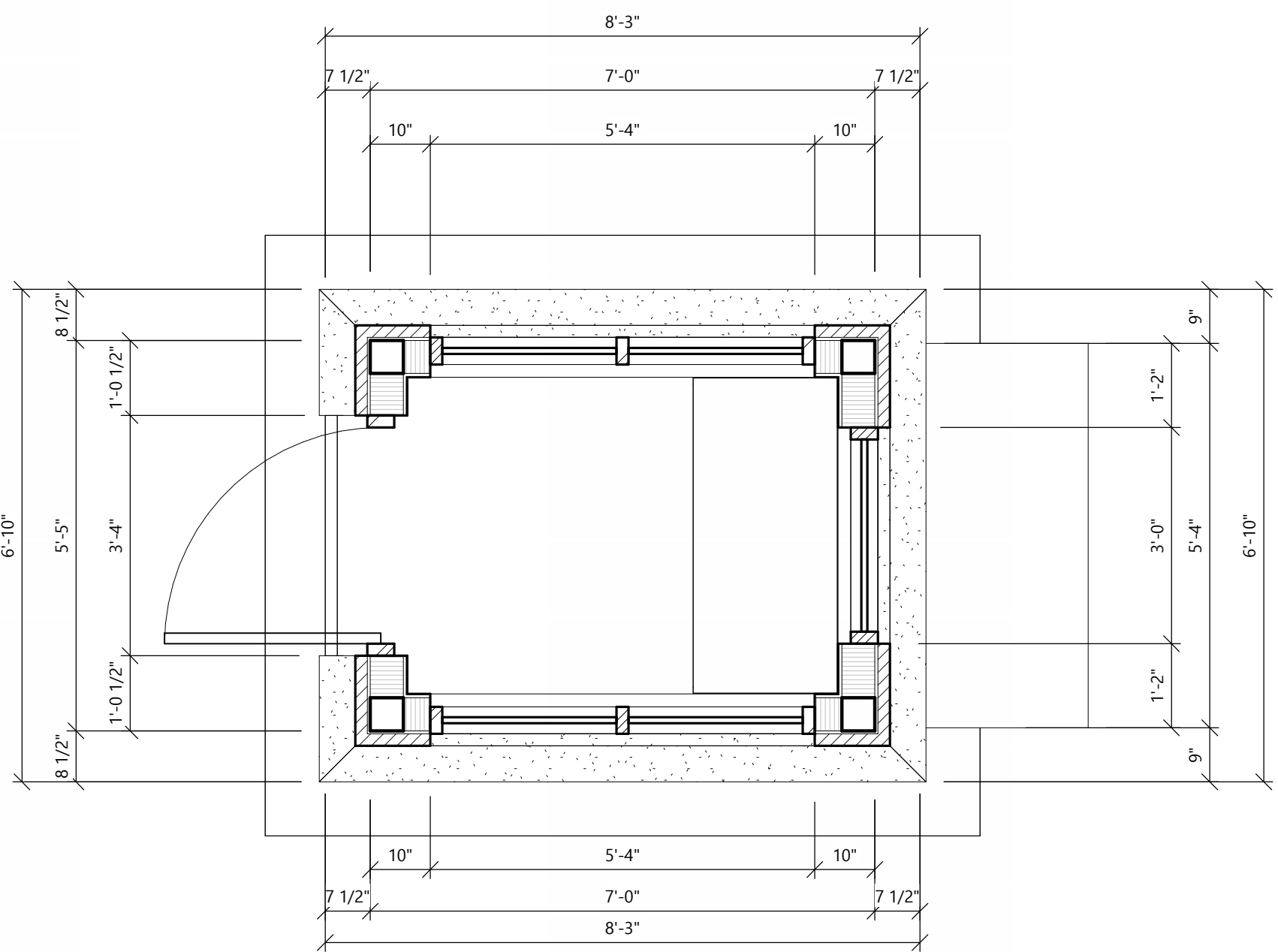
RIGHT ELEVATION

SCALE: 3/4" = 1'-0"



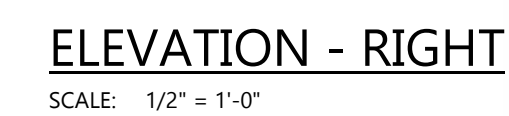
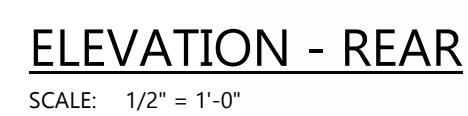
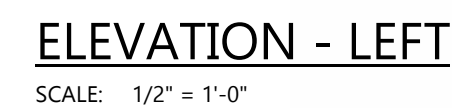
REAR ELEVATION

SCALE: 3/4" = 1'-0"



SHELTER PLAN

SCALE: 1/2" = 1'-0"



BRICK VENEER (RUNNING BOND)
 MFR: BELDEN BRICK
 COLOR: TUMBLEWEED VELOUR w/ GRAY MORTAR

BRICK VENEER (STACKED BOND & SOLDIER)
 MFR: BELDEN BRICK
 COLOR: SEAL BROWN VELOUR w/ GRAY MORTAR

STONE VENEER
 MFR: ELI DOMARDO STONE
 SIZE: 30" (H) x 30" x 1"-D
 COLOR: WHITE ELM w/ MATCHING MORTAR JOINT

IES
 TEXTURE : SAND
 COLOR: PT-9 (IN THE NAVY)

PREFINISHED STANDING SEAM METAL ROOF PANEL
 MFR: CTRMRS (OR EQUAL)
 STYLE: LARGES BATTEN 24 GA
 COLOR: PT-9 (IN THE NAVY)

PREFINISHED ALUMINUM WALL PANEL
 MFR: CTRMRS (OR EQUAL)
 COLOR: PT-9 (IN THE NAVY)
 STYLE: R PANEL

ALUMINUM STOREFRONT SYSTEM
 GLAZING: CLEAR
 FRAME: CLEAR ANODIZED

CONCRETE CURB
 TEXTURE: HAND RUB
 COLOR: TO MATCH STONE

SIDING TREX BOARD
 COLOR: TO MATCH PT-3

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PROPOSED CARWASH

34625 UTICA ROAD • FRASER, MI 48026

(160L - V1.2 - ZONE 1)

PROFESSIONAL SEAL

JULY 11, 2024

NOT FOR CONSTRUCTION

JOB NUMBER

230116500

SHEET NUMBER

PRE-4

PRELIMINARY DUMPSTER ENCLOSURE PLAN & ELEVATIONS

EXTERIOR MATERIAL KEY

- A

BRICK VENEER (RUNNING BOND)
MFR: BELDEN BRICK
COLOR: TUMBLEWEED VELOUR w/ GRAY MORTAR
- B

BRICK VENEER (STACKED BOND & SOLDIER)
MFR: BELDEN BRICK
COLOR: SEAL BROWN VELOUR w/ GARY MORTAR
- C

STONE VENEER
MFR: EL DORADO STONE
STYLE: VANTAGE 30 (6"H x 30"L x ~1"D)
COLOR: WHITE ELM w/ MATCHING MORTAR JOINT
- D

EIFS
TEXTURE : SAND
COLOR: PT-9 (IN THE NAVY)
- E

PREFINISHED STANDING SEAM METAL ROOF PANEL
MFR: CTMRS (OR EQUAL)
STYLE: LARGE BATTEN 24 GA
COLOR: PT-9 (IN THE NAVY)
- F

PREFINISHED ALUMINUM WALL PANEL
MFR: CTMRS (OR EQUAL)
COLOR: PT-9 (IN THE NAVY)
STYLE: R PANEL
- G

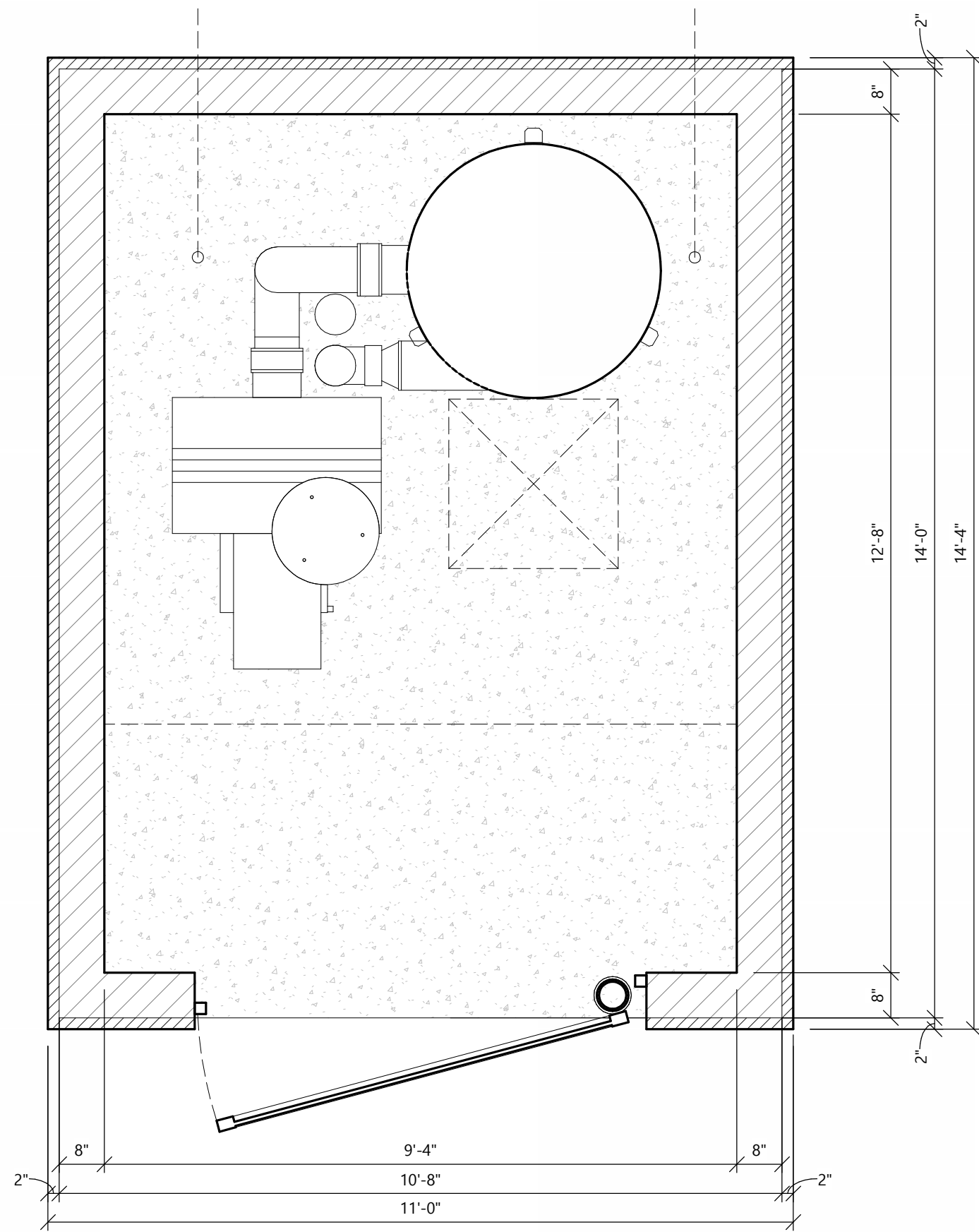
ALUMINUM STOREFRONT SYSTEM
GLAZING: CLEAR
FRAME: CLEAR ANODIZED
- H

CONCRETE CURB
TEXTURE: HAND RUB
COLOR: TO MATCH STONE
- I

SIDING TREX BOARD
COLOR: TO MATCH PT-3

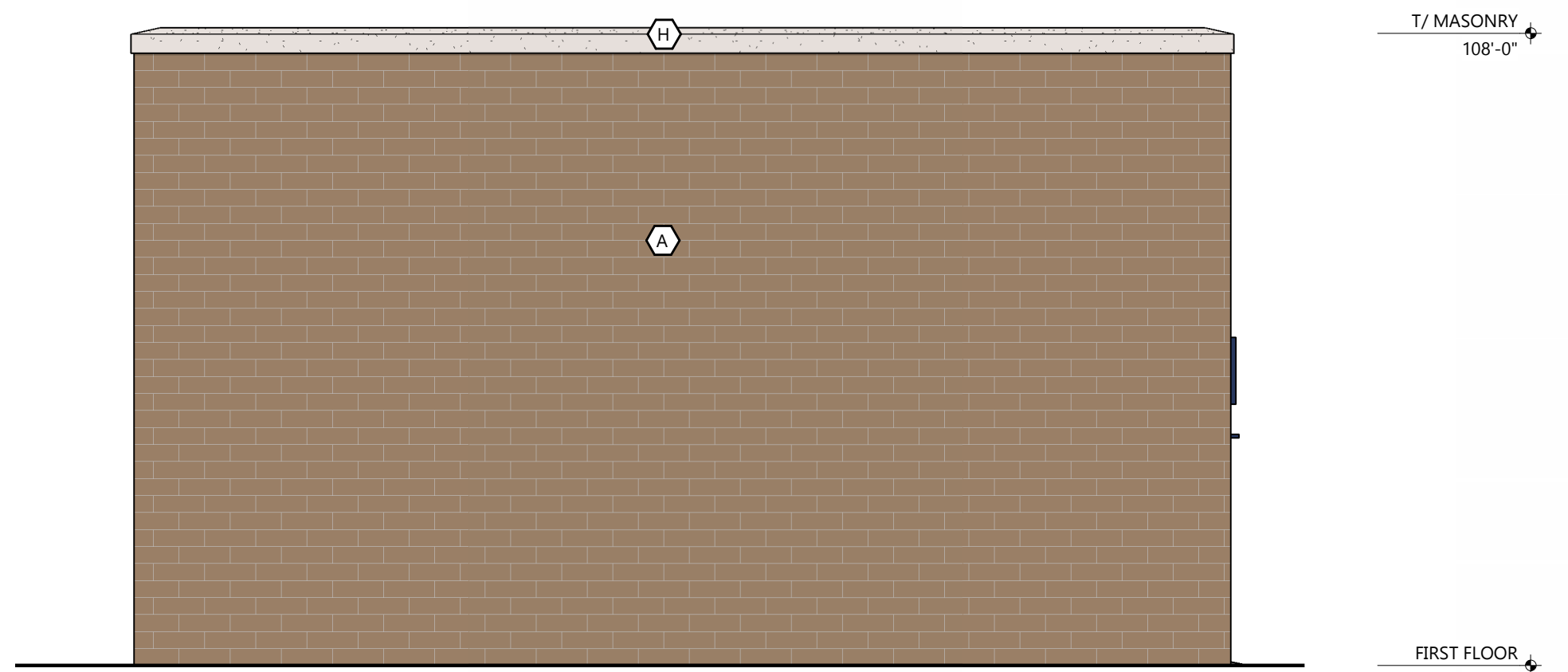
GENERAL NOTES

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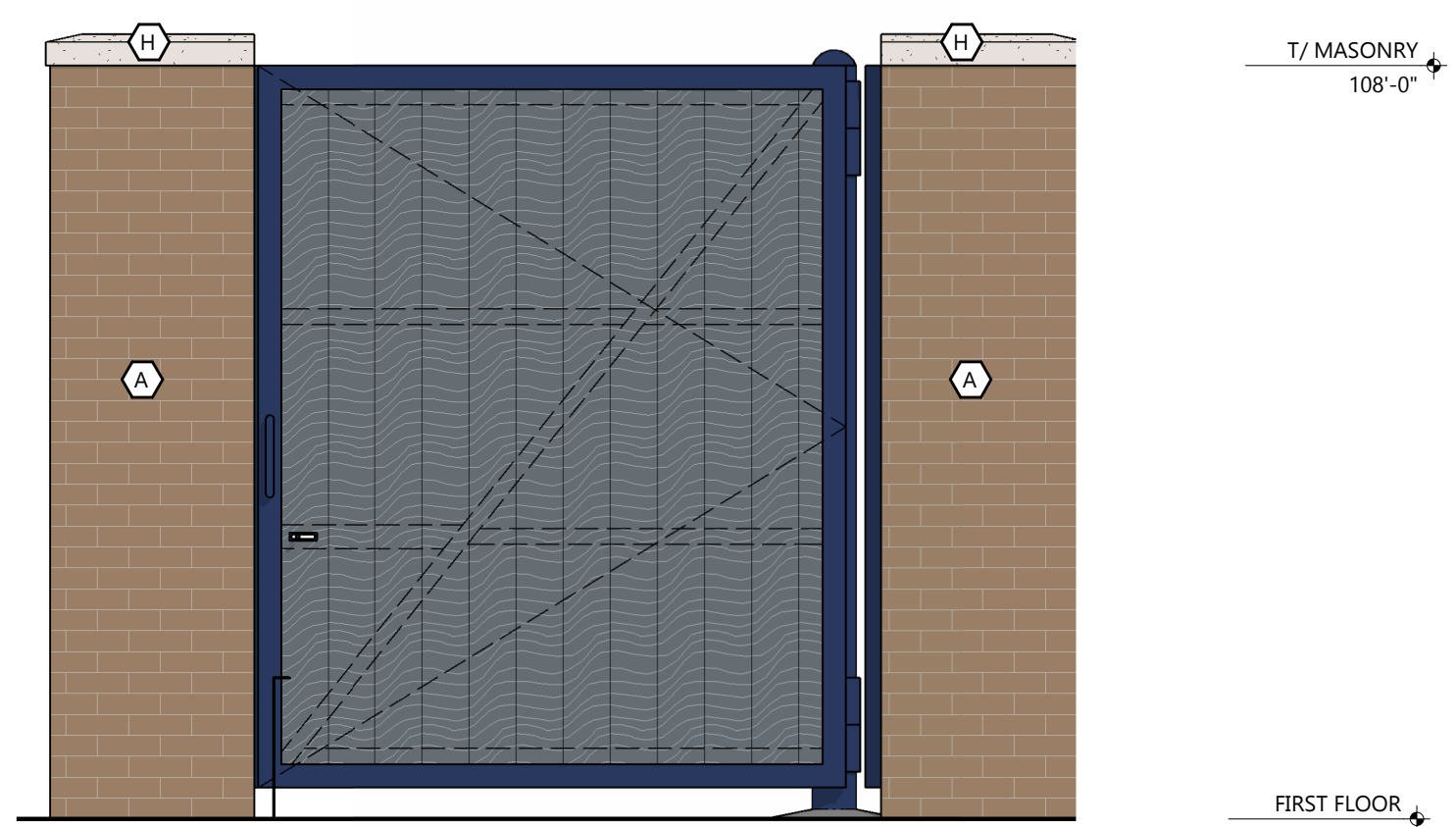
PLAN - VACUUM EQUIPMENT ENCLOSURE

SCALE: 1/2" = 1'-0"



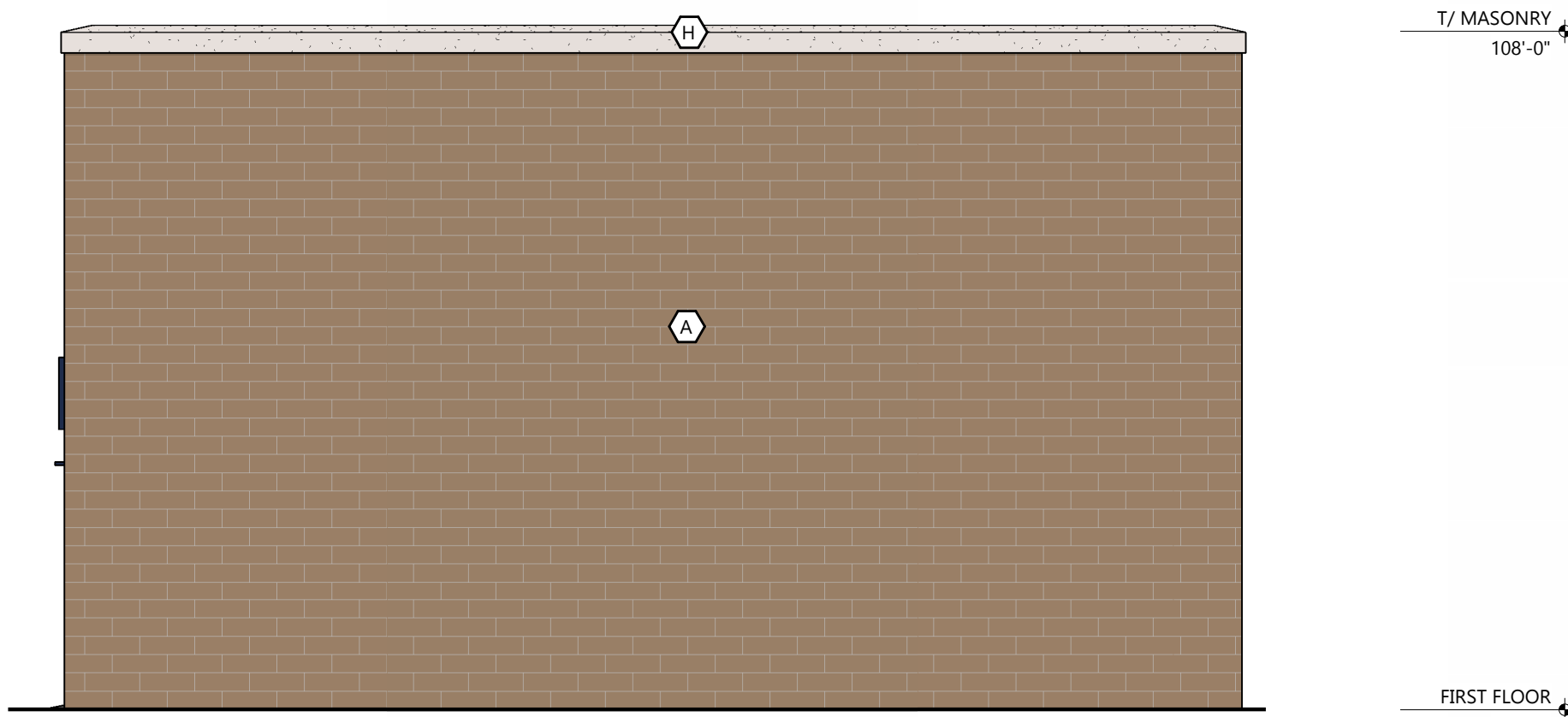
LEFT ELEVATION

SCALE: 1/2" = 1'-0"



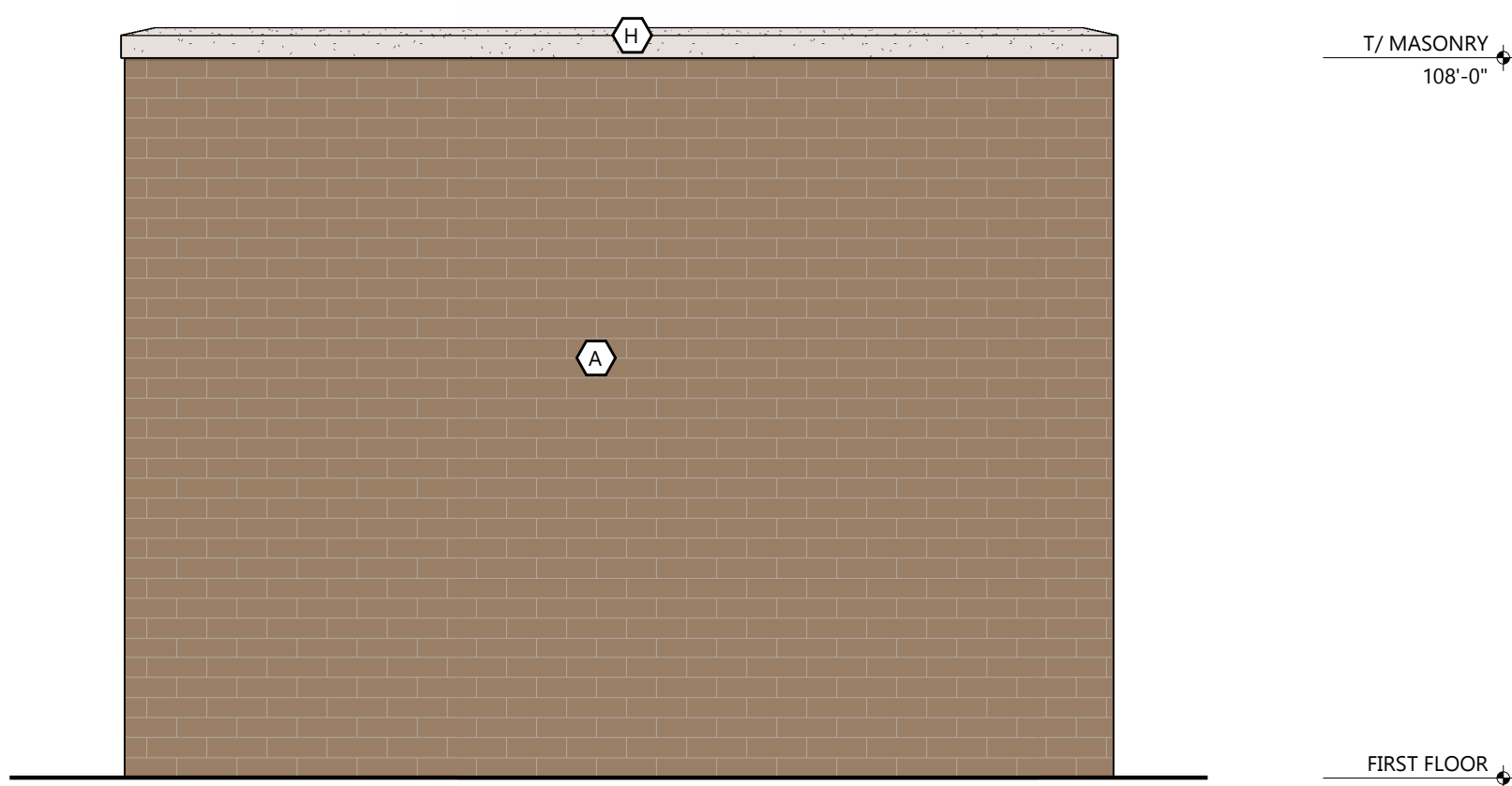
FRONT ELEVATION

SCALE: 1/2" = 1'-0"



RIGHT ELEVATION

SCALE: 1/2" = 1'-0"



REAR ELEVATION

SCALE: 1/2" = 1'-0"

PROJECT INFORMATION

PROPOSED CARWASH
MISTER CAR WASH (MI 1449 FRASER)
34625 UTICA ROAD • FRASER, MI 48026

(160L - V1.2 - ZONE 1)

PROFESSIONAL SEAL

PRELIMINARY DATES

JULY 11, 2024

NOT FOR CONSTRUCTION

JOB NUMBER

230116500

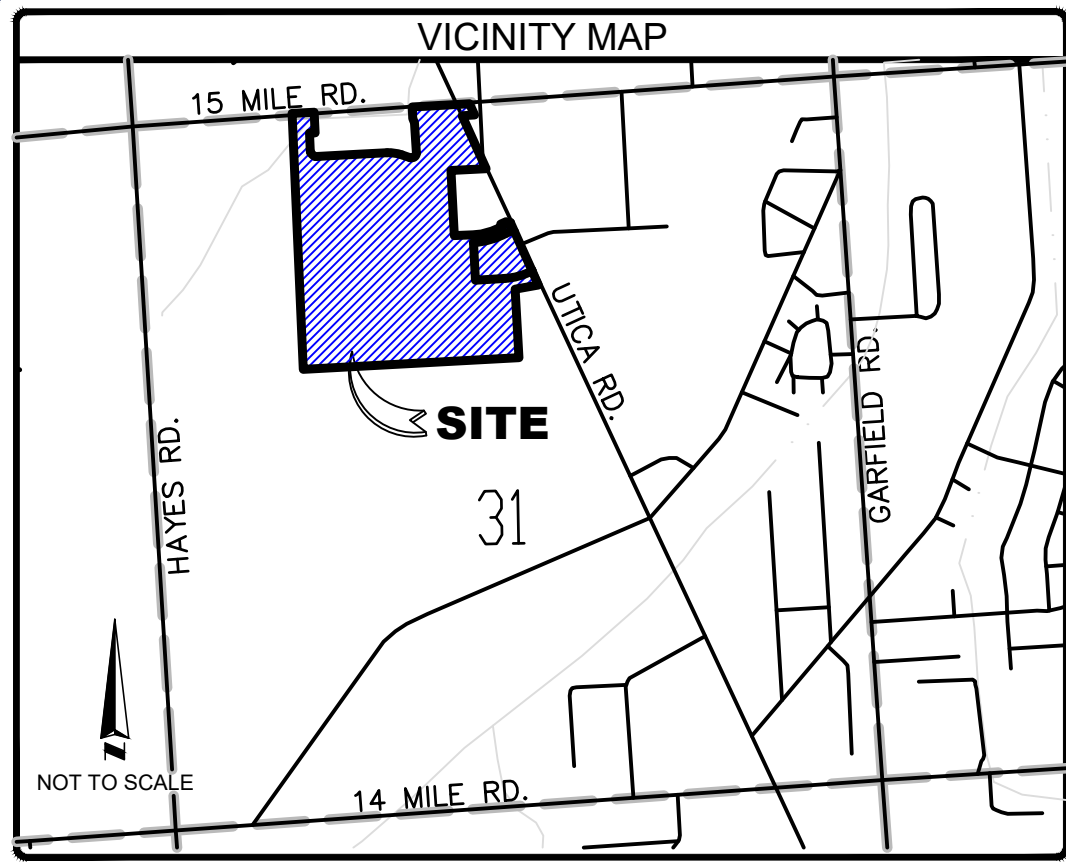
SHEET NUMBER

PRE-5



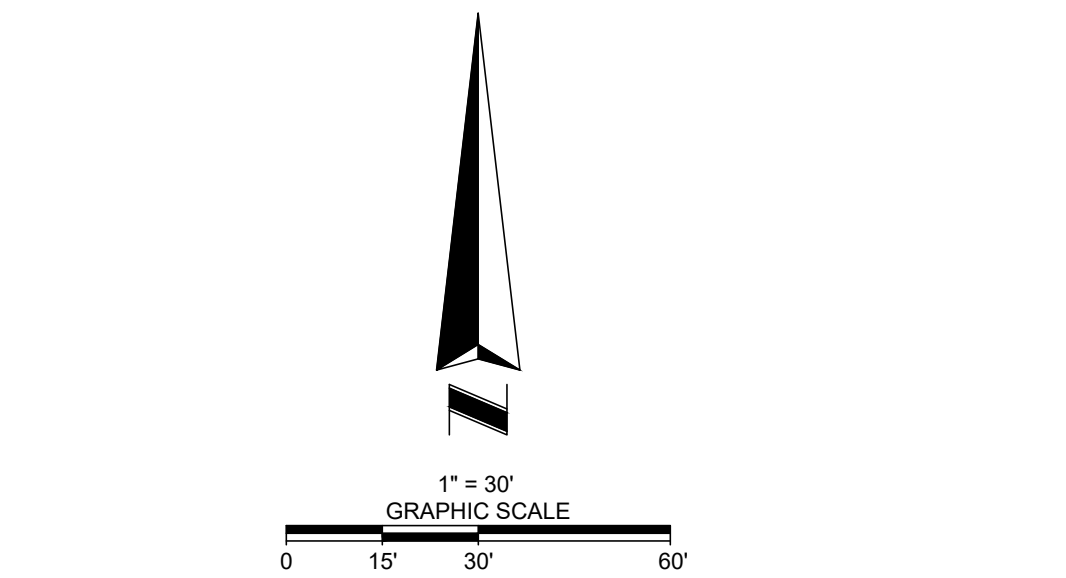
GENERAL NOTES

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BASIS OF BEARING

Bearings are based on the North line of Section 31, Town 2 North, Range 13 East, having a bearing of South 89 degrees 24 minutes 07 seconds West per Warranty Deed Liber 4751, Page 31, Macomb County Records.



OBSERVED SIGNIFICANT OBSERVATIONS

NO ENCROACHMENTS WERE OBSERVED AT THE TIME OF SURVEY

ZONING INFORMATION		
ITEM	REQUIRED	REPORT DATE: May 30, 2024
ZONING DESIGNATION	CG Commercial General	REPORT #: 23-417182.5
USE CONFORMANCE	Car Wash use is Permitted by Right within the CG District. Auto laundries (car wash) use must be completely enclosed in a building. Code Section Referenced: 32-135(1)	
MINIMUM LOT AREA (SQ. FT.)	12,000 Sq. Ft. per building	PARKING REQUIREMENTS:
MINIMUM LOT WIDTH	80 Ft. per building	Auto Wash, hand or coin-operated:
MAXIMUM FLOOR AREA RATIO	None Specified	Four (4) exterior waiting spaces at entry, plus two (2) exterior drying spaces at exit shall be provided for each bay; plus one (1) space for each employee.
MAX LOT COVERAGE	Equal to the remainder of the site after all right-of-way, parking and yard space requirements are deducted from the gross site area.	Enclosed Self-Service two-door time charge car wash:
MAXIMUM BUILDING HEIGHT	30 Ft.	Where all washing and drying operations are designed to take place within the building, four (4) waiting spaces shall be provided for each bay, plus one (1) space for each employee. A properly drained fifty (50) foot long drying lane shall also be provided at the exit of each washing lane or stall in order to prevent undue amounts of water from collecting on the public street and thereby creating a traffic hazard.
MAXIMUM STORIES	2 Stories	Auto Wash, high speed commercial:
MINIMUM SETBACKS		One (1) space for each employee, plus twenty (20) exterior waiting spaces at entry. A properly drained fifty (50) foot long drying lane shall also be provided at the exit of each washing lane or stall in order to prevent undue amounts of water from collecting on the public street and thereby creating a traffic hazard.
MINIMUM FRONT AND SIDE STREET YARD	110 Ft. from centerline of major road right-of-way	
MINIMUM SIDE YARD	None from interior lot lines, except as otherwise specified in the building code. 20 Feet from exterior side bordering a residential district. 20 Feet from the openings (windows and doors) side or other side of the lot.	
MINIMUM REAR YARD SETBACK	None Specified	
MINIMUM PARKING SETBACK FROM FRONT OR SIDE STREET	70 Feet from centerline of major road right-of-way	

FLOOD INFORMATION

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES WITHIN ZONE "X", AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 26099C0337G, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 29, 2006 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE. ZONE "X" DENOTES AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

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LEGEND	
● - MONUMENT	○ MANHOLE
○ - IRON PIN	⊕ ROUND CATCHBASIN
— POST	⊞ SQUARE CATCHBASIN
— UTILITY POLE	— BUILDING OVERHANG
— SIGN	— PARCEL LINE
— FIBEROPTIC MARKER	— FENCE LINE
— ELEC MARKER	— EASEMENT
— HYDRANT	— R.O.W. LINE
— WATER VALVE	— LOT LINE
SB# - SOIL BORING	— UTILITY LINE
— ACCESSIBLE PARKING	— SETBACK LINE
M= MEASURED DIMENSION	— PROPOSED PARCEL
R= RECORD DIMENSION	— CONCRETE
P= PROPOSED PARCEL DIMENSION	

BUILDING AREA

NO BUILDINGS

BUILDING HEIGHT

NO BUILDINGS

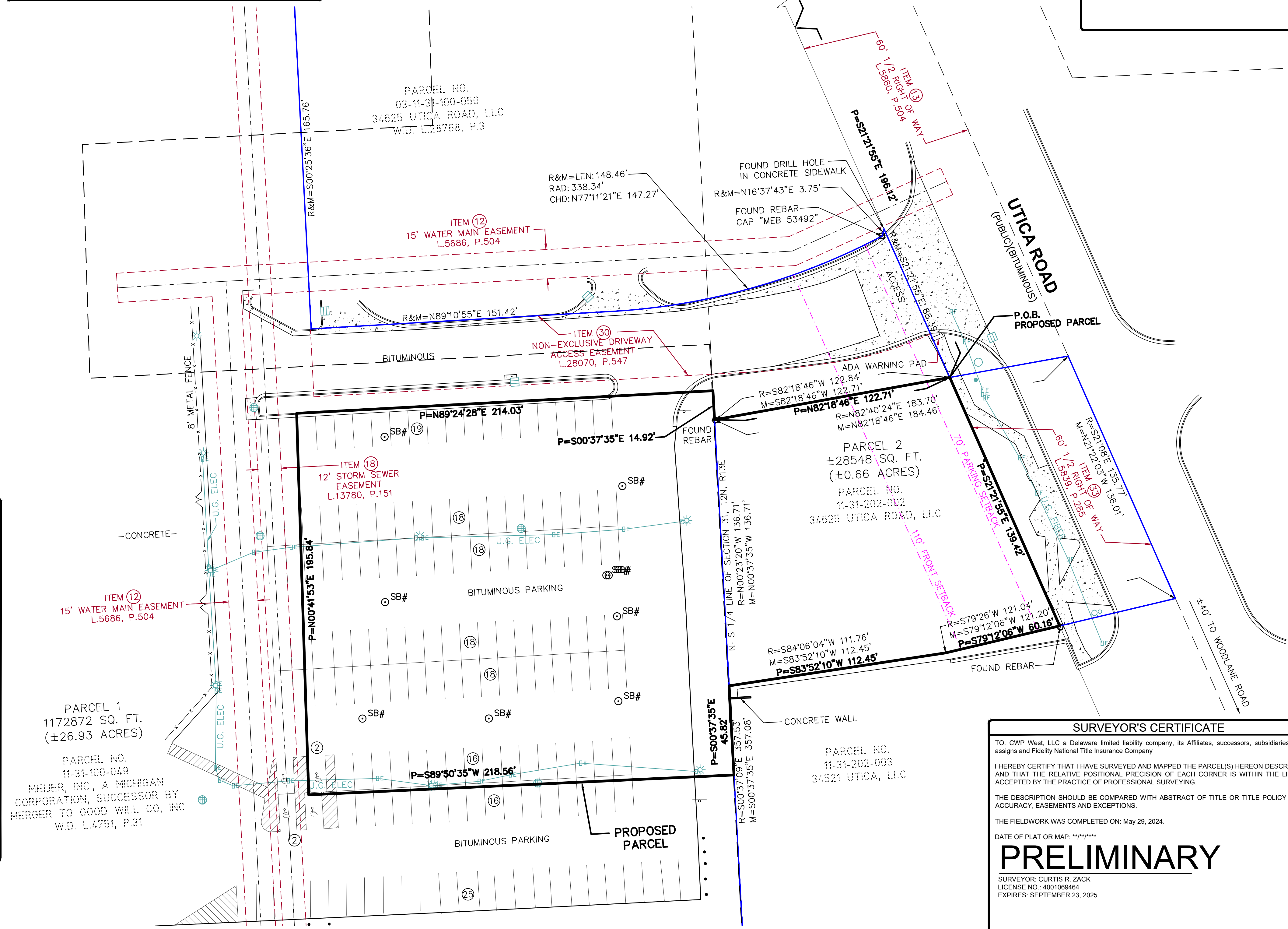
LAND AREA

PARCEL 1: ±1172872 Sq. Ft. (±26.93 Acres)
PARCEL 2: ±28548 Sq. Ft. (±0.66 Acres)

PARKING

REGULAR: 57
HANDICAP: 4
TOTAL PARKING: 61

NOTE: PARKING COUNT IS APPROXIMATE FOR THE PROJECT AREA AND DOES NOT CONSTITUTE A PARKING TOTAL FOR THE PARENT PARCELS.



PARCEL 1
1172872 SQ. FT.
(±26.93 ACRES)

PARCEL NO.
03-41-31-100-050
MEIER, INC., A MICHIGAN
CORPORATION, SUCCESSOR BY
MERGER TO GOOD WILL CO, INC
W.D. L.4751, P.31

UTILITY NOTE

AT THE TIME OF SURVEY, UTILITY MARKINGS WERE OBSERVED ON THE SUBJECT PROPERTY AND ARE SHOWN HEREON. UNDERGROUND UTILITIES SHOWN HEREON SHOULD NOT BE ASSUMED TO BE THE ONLY UTILITIES WITHIN THE PROJECT AREA.

N LINE OF SECTION 31, T2N, R13E

P=S89°24'07"W 184.68'
P=S21°47'00"E 64.36'
P=S89°24'07"W 64.35'

P.O.C. PROPOSED PARCEL
N1/4 CORNER
SECTION 31
T2N, R13E

PROPOSED PARCEL DESCRIPTION

All that part of the Northwest 1/4 of Section 31, Town 2 North, Range 13 East, Macomb County, Michigan described as:

Commencing at the North 1/4 corner of said Section 31; thence South 89°24'07" West, 184.68 feet to the northeast corner of the land conveyed in Warranty Deed Liber 4751, Page 31, Macomb County Records; thence along the easterly line of said land the following (2) courses: (1) South 21°47'00" West 64.36 feet; (2) South 89°24'07" East 64.35 feet to the southwesterly right of way of Utica Road; thence along said right of way the following (2) courses: (1) South 21°47'00" East 770.62 feet; (2) South 21°21'55" East 186.12 feet TO THE PLACE OF BEGINNING OF THIS DESCRIPTION; thence continuing South 21°21'55" East 138.42 feet along said southwesterly right of way; thence South 79°12'06" West 60.16 feet; thence South 83°52'10" West 112.45 feet to a point on the North-South Quarter line of said Section 31; thence South 00°37'35" East 45.82 feet along said Quarter line; thence South 89°50'35" West 218.56 feet; thence North 00°41'53" East 195.84 feet; thence North 89°24'28" East 214.03 feet to said Quarter line; thence South 00°37'35" East 14.92 feet along said line; thence North 82°18'46" East 122.71 feet to the place of beginning of this description.

Containing ±62,815 sq ft (±1.442 Acres) more or less.

TITLE DESCRIPTION

Land Situated in the State of Michigan, County of Macomb, City of Fraser.

Parcel 1:
Commencing at the North 1/4 post of Section 31, Town 2 North, Range 13 East; thence South 89 degrees 24 minutes 07 seconds West, 184.68 feet to the point of beginning; thence South 21 degrees 47 minutes 00 seconds East, 64.36 feet; thence South 89 deg. 24' 07" West 64.35 feet; thence South 21 deg. 47' 00" East 302.71 feet; thence South 89 deg. 31' 41" West 183.52 feet; thence South 00 deg. 25' 20" East 339.18 feet; thence South 89 deg. 31' 43" East 98.70 feet; thence North 85 deg. 55' 32" East 42.61 feet; thence North 77 deg. 24' 57" East 55.82 feet; thence North 89 deg. 23' 27" East 58.07 feet; thence North 22 deg. 05' 42" West 15.00 feet; thence North 87 deg. 54' 18" East 31.00 feet; thence South 22 deg. 05' 42" East 15.00 feet; thence North 87 deg. 54' 18" East 13.03 feet; thence 5.47 feet along a curve to the left, radius = 24.16 feet, chord bearing North 58 deg. 11' 37" East 5.45 feet; thence South 21 deg. 47' 00" East 50.79 feet; thence North 82 deg. 42' 07" West 12.25 feet; thence South 69 deg. 11' 13" West 33.95 feet; thence 179.94 feet along a curve to the right, radius = 418.95 feet, chord bearing South 79° deg. 21' 20" West 178.56 feet; thence South 00° 25' 36" East 195.76 feet; thence North 89 deg. 10' 55" East 151.42 feet; thence 148.45 feet along a curve to the left, radius = 338.34 feet, chord bearing North 77 deg. 11' 21" East 147.27 feet; thence North 16 deg. 37' 43" East 3.75 feet; thence South 21 deg. 21' 55" East 83.39 feet; thence South 82 deg. 18' 46" West 122.84 feet; thence South 00 deg. 37' 09" East 357.53 feet; thence South 89 deg. 24' 07" West 1124.46 feet; thence North 1334.67 feet; thence North 89 deg. 24' 07" East 115.41 feet; thence South 00 deg. 00' 00" East 107.68 feet; thence North 90 deg. 00' 00" West 28.84 feet; thence South 00 deg. 00' 00" East 98.42 feet; thence 39.53 feet along a curve to the left, radius = 25 feet, chord bearing South 45 deg. 17' 57" East 35.54 feet; thence North 89 deg. 24' 07" East 213.58 feet; thence North 89 deg. 27' 13" East 160.43 feet; thence 76.75 feet along a curve to the right, radius = 200 feet, chord bearing South 79 deg. 24' 31" East 76.28 feet; thence South 89 deg. 24' 56" East 46.22 feet; thence 49.25 feet along a curve to the left, radius = 25 feet, chord bearing North 55 deg. 08' 01" East 41.67 feet; thence North 01 deg. 19' 02" West 156.30 feet; thence North 18 29' 03" West 24.89 feet; thence North 60.00 feet; thence North 89 deg. 24' 07" East 298.85 feet to the point of beginning.

Parcel 2:
Located in Section 31, Town 2 North, Range 13 East, City of Fraser, commencing at a point 704.94 feet North 21 deg. 08' West from the intersection of the centerline of Utica Road and the East/West 1/4 line of said Section 31; thence extending South 79 deg. 26' West 121.04 feet; thence South 84 deg. 06' 04" West 111.76 feet; thence North 0 deg. 23' 20" West 136.71 feet; thence North 82 deg. 40' 24" East 183.70 feet; thence South 21 deg. 08' East 135.77 feet along the centerline of Utica Road to the point of beginning.

* NOTE: BEARING SHOULD READ 76°21'20" PER DESCRIPTION IN DOCUMENT NO. 202102248754 (LIBER 28070, PAGE 538)

TITLE COMMITMENT INFORMATION

The Title Description and Schedule 'B' items are the same as shown on the title commitment provided by Fidelity National Title Insurance Company, Commitment No. GLT3300119A, Revision No. 2 with an effective date of May 2, 2023.

NOTES CORRESPONDING TO SCHEDULE "B" ITEMS

SEE SHEET 2 OF 2

SURVEYOR'S NOTES

- THIS MAP IS NOT AN ALTA SURVEY OR A DESIGN SURVEY, AND IS ONLY INTENDED TO DEPICT THOSE TOPOGRAPHIC FEATURES AND IMPROVEMENTS OVER THE PORTION OF THE PARENT PARCEL DESIGNATED BY THE CLIENT.
- PROPERTY ADDRESS OF 34835 & 34625 UTICA ROAD WAS PROVIDED PER FIDELITY NATIONAL TITLE INSURANCE COMPANY TITLE COMMITMENT GLT3300119A, REVISION NO. 2 AT THE TIME OF SURVEY.
- THE NEAREST INTERSECTING STREET IN RELATION TO PARCEL 1 IS 15 MILE ROAD, WHICH LIES AT THE NORTHEAST CORNER OF SAID PARCEL. THE NEAREST INTERSECTING STREET IN RELATION TO PARCEL 2 IS WOODLANE ROAD, WHICH LIES APPROXIMATELY 40 FEET SOUTHEAST OF THE SOUTHEAST CORNER OF SAID PARCEL.
- ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED ELSEWHERE HEREON, RELATED UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS, PARTY WALLS, EASEMENTS, SERVITUDES, FOUNDATIONS AND POSSIBLE ENCROACHMENTS ARE BASED SOLELY ON ABOVE GROUND, VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION IS SPECIFICALLY REFERENCED HEREON.
- SUBJECT TRACT HAS DIRECT PHYSICAL DRIVEWAY ACCESS TO UTICA ROAD, A DEDICATED PUBLIC RIGHT-OF-WAY.
- NO BUILDINGS WERE OBSERVED ON THE SUBJECT SITE AT THE TIME OF SURVEY.
- THERE IS NO OBSERVABLE EVIDENCE OF EARTH-MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS WAS FOUND AT THE TIME OF SURVEY.
- THERE IS NO OBSERVABLE EVIDENCE OF ANY CHANGES IN STREET RIGHT-OF-WAYS OR RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIR.
- THERE IS NO OBSERVABLE EVIDENCE OF CEMETERIES OR BURIAL GROUNDS ON THE SURVEYED PROPERTY.
- ALL PLOTTABLE RECIPROCAL EASEMENT AGREEMENTS ("REAS") THAT HAVE BEEN REPORTED BY THE TITLE REPORT PROVIDED HAVE BEEN DENOTED ON THE SURVEY AND ARE SHOWN HEREON. THE LIMITS OF ANY PLOTTABLE OFFSITE APPURTENANT EASEMENTS THAT HAVE BEEN REPORTED BY THE TITLE REPORT PROVIDED HAVE BEEN DENOTED ON THE SURVEY AND ARE SHOWN HEREON.
- THIS SURVEY DOES NOT PROVIDE A DETERMINATION OR OPINION CONCERNING THE LOCATION OR EXISTENCE OF WETLANDS, FAULT LINES, TOXIC OR HAZARDOUS WASTE AREAS, SUBSIDENCE, SUBSURFACE AND ENVIRONMENTAL CONDITIONS OR GEOLOGICAL ISSUES. NO STATEMENT IS MADE CONCERNING THE SUITABILITY OF THE SUBJECT TRACT FOR ANY INTENDED USE, PURPOSE OR DEVELOPMENT.
- THE PARENT PARCEL DESCRIPTION FORMS A MATHEMATICALLY CLOSED AREA.

SURVEYOR'S CERTIFICATE

TO: CWP West, LLC a Delaware limited liability company, its Affiliates, successors, subsidiaries and assigns and Fidelity National Title Insurance Company

I HEREBY CERTIFY THAT I HAVE SURVEYED AND MAPPED THE PARCEL(S) HEREON DESCRIBED AND THAT THE RELATIVE POSITIONAL PRECISION OF EACH CORNER IS WITHIN THE LIMITS ACCEPTED BY THE PRACTICE OF PROFESSIONAL SURVEYING.

THE DESCRIPTION SHOULD BE COMPARED WITH ABSTRACT OF TITLE OR TITLE POLICY FOR ACCURACY, EASEMENTS AND EXCEPTIONS.

THE FIELDWORK WAS COMPLETED ON: May 29, 2024.

DATE OF PLAT OR MAP: ****

PRELIMINARY

SURVEYOR: CURTIS R. ZACK
LICENSE NO.: 4001069464
EXPIRES: SEPTEMBER 23, 2025

MAP OF SURVEY IN PREPARATION FOR FUTURE ALTA/NSPS SURVEY

FUTURE CAR WASH - MI 1449 FRASER

SITE ADDRESS

34625 & 34835 Utica Road
FRASER, MI 48026
MACOMB COUNTY

PARTNER PROJECT NUMBER: 23-417182.5

COORDINATED BY

PARTNER

CORPORATE OFFICE
2154 Torrance Boulevard
Torrance, CA 90501
Phone: 888-213-7473
ALTA@partneresi.com
www.partneresi.com

DATE	REVISIONS	DRAWN BY: J.M.F.	DRAWING SCALE: 1"= 30'
06/27/24	PROPOSED PARCEL DESCR.	CHECKED BY: CRZ	JOB NO.: 221014.048
		FILENAME: 048-BM.DWG	

SURVEYED BY

williams&works
engineers | surveyors | planners

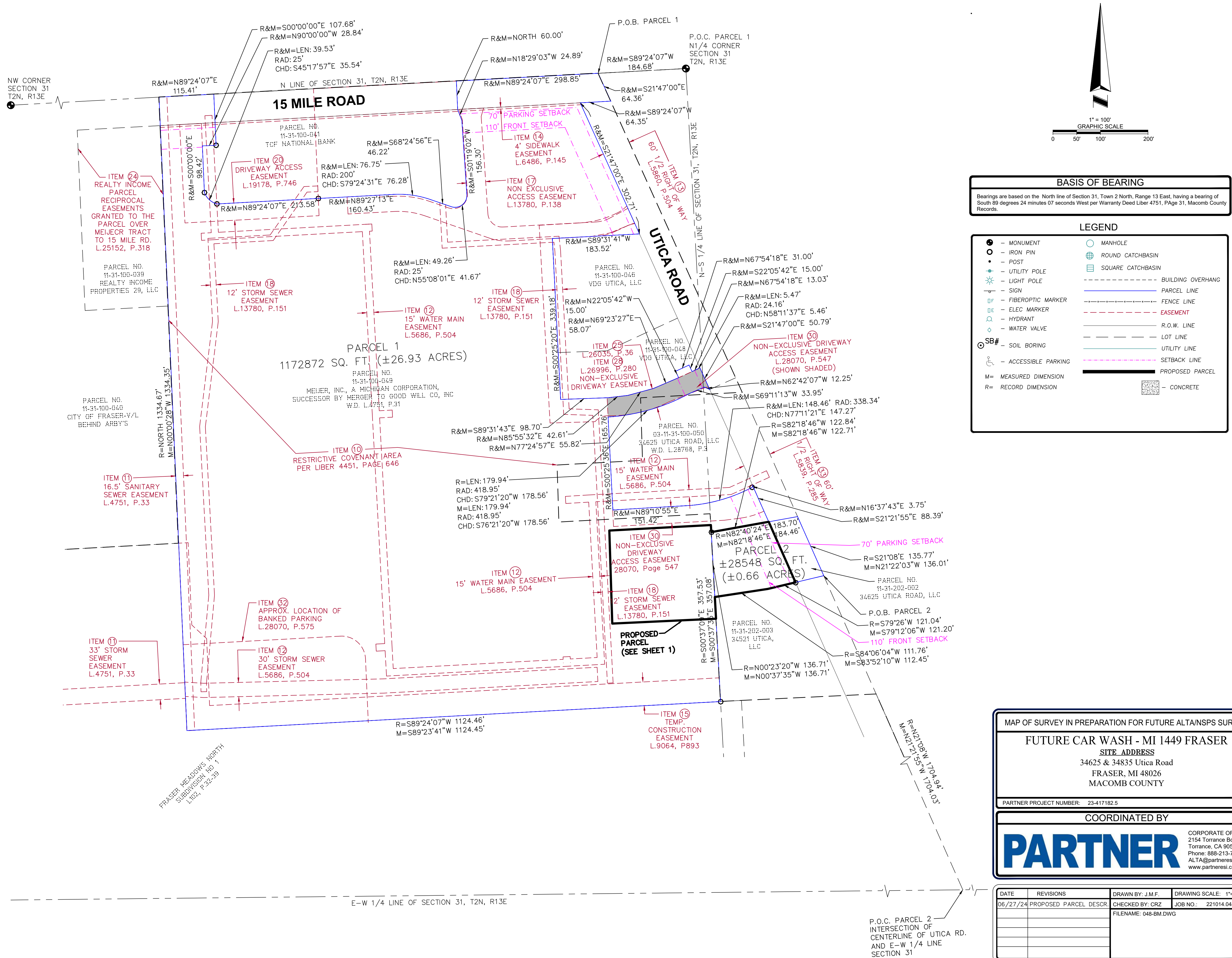
616.224.1500 phone | http://williams-works.com
549 Ottawa Ave NW | Grand Rapids, MI 49503

**SHEET 1
OF 2**

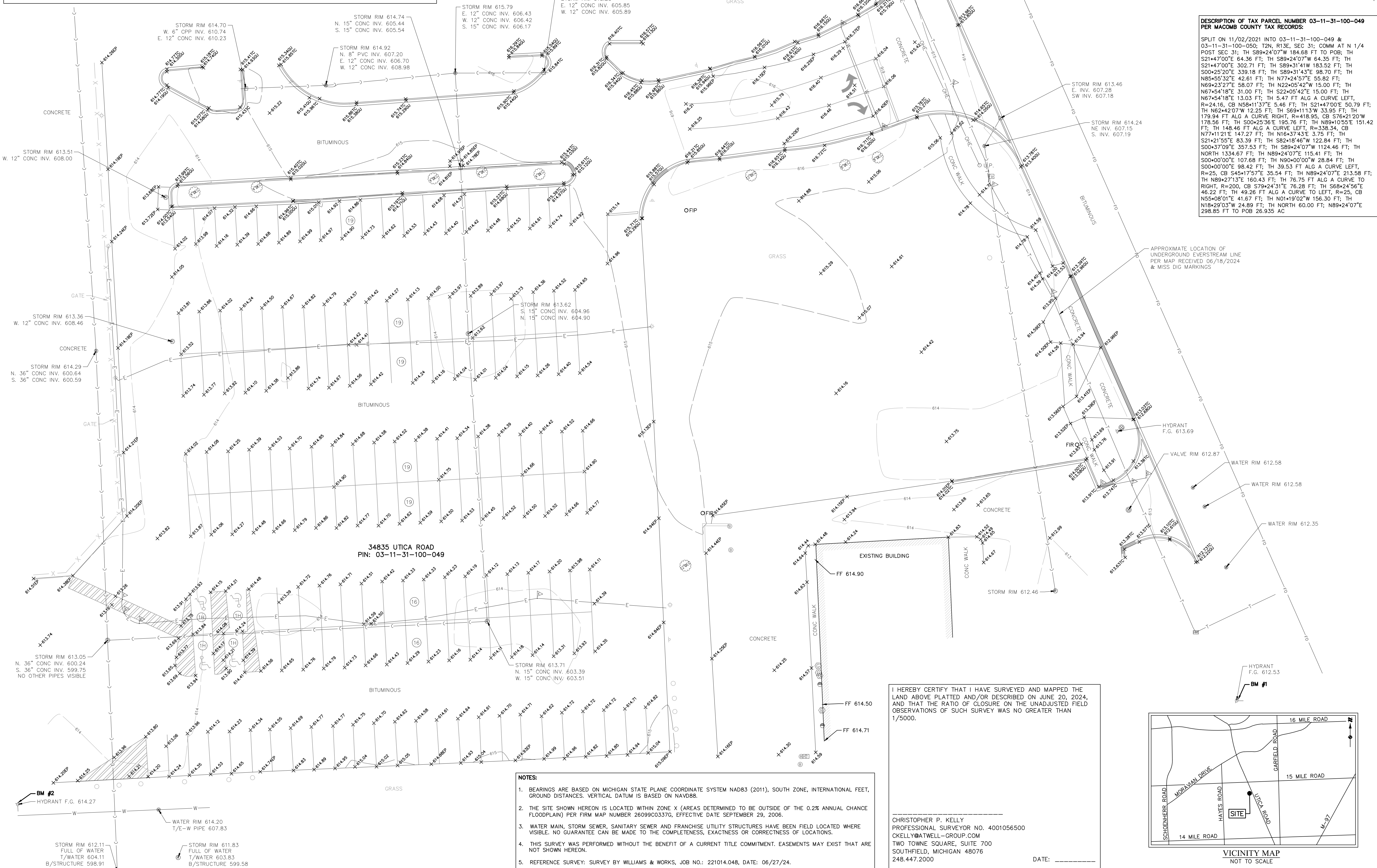
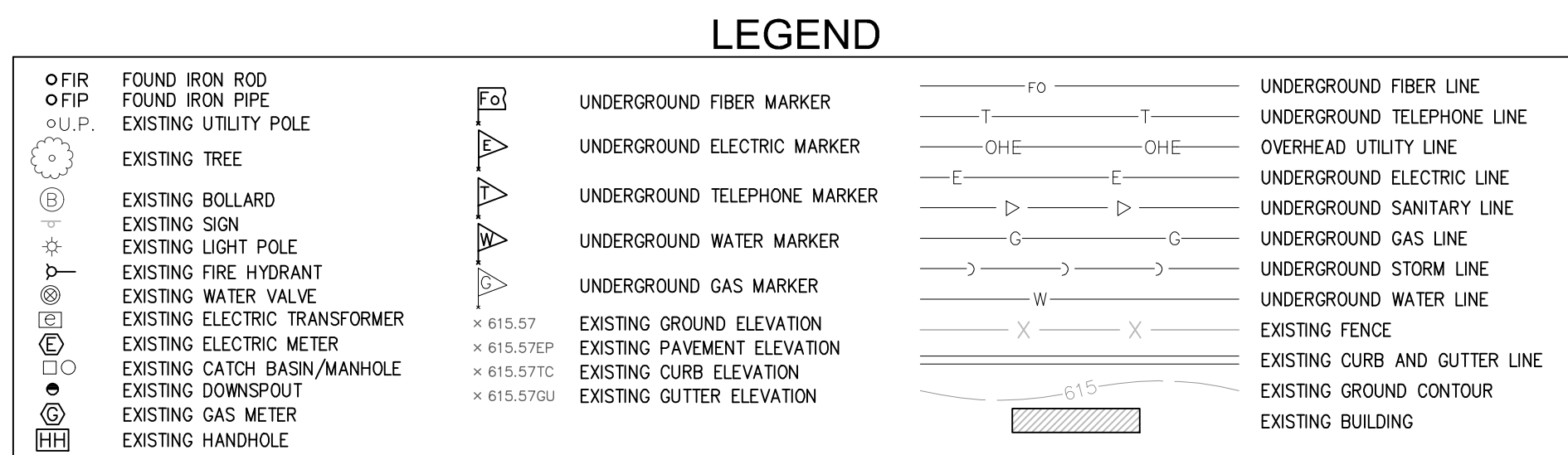
THIS SURVEY WAS COORDINATED, NOT PERFORMED, BY PARTNER. SURVEY OBTAINED FROM AND CERTIFIED TO BY A PROFESSIONAL SURVEYOR LICENSED TO PRACTICE IN THE SAME STATE THE SUBJECT PROPERTY IS LOCATED

NOTES CORRESPONDING TO SCHEDULE "B" ITEMS

- 10 Restrictive Covenants recorded in Liber 2061, Page 980 and Liber 2073, Page 328; and Declaration of Covenants, Conditions & Restrictions attached as Exhibit B to Warranty Deed recorded in Liber 4451, Page 646. AFFECTS PARCEL 1. DOES NOT AFFECT PARCEL 2. AFFECTS THE PORTION OF THE PROJECT SITE LYING WITHIN PARCEL 1, BLANKET IN NATURE.
- 11 Easement Agreement Executed by Fraser Partners Limited Partnership, Good Will Co., Inc and Angelo Evangelista, Incorporated Recording Date: October 25, 1989 Recording No.: Liber 4751, Page 33 As effected by the Termination of Easements and Release Agreement Recording Date: July 1, 1992 Recording No: Liber 5493, Page 169 Nonexclusive Underground Sanitary Sewer line Easement Agreement and Dedication of Sanitary Sewer Line Recording Date: May 27, 1992 Recording No: Liber 5455, Page 217 AFFECTS PARCEL 1. DOES NOT AFFECT PARCEL 2. DOES NOT AFFECT THE PROJECT SITE.
- 12 Nonexclusive Underground Storm Sewer and Water Main Easement Recording Date: December 16, 1992 Recording No.: Liber 5686, Page 504 AFFECTS PARCEL 1. DOES NOT AFFECT PARCEL 2. AFFECTS THE PROJECT SITE AS SHOWN.
- 13 Statement of Necessity by the Board of County Road Commissioners of Macomb County Recording Date: May 12, 1993 Recording No.: Liber 5880, Page 504 DOES NOT AFFECT PARCEL 1, 2 OR THE PROJECT SITE. DOCUMENT NOTES WIDENING OF PORTION OF RIGHT OF WAY OF UTICA ROAD ADJACENT TO PARCEL 1 TO 60 FEET IN WIDTH.
- 14 Nonexclusive Sidewalk Easement Recording Date: October 25, 1994 Recording No.: Liber 6486, Page 145 AFFECTS PARCEL 1. DOES NOT AFFECT PARCEL 2. DOES NOT AFFECT THE PROJECT SITE.
- 15 Temporary Construction Easement Recording Date: August 20, 1999 Recording No.: Liber 9064, Page 883 (as to Parcel 1) DOES NOT APPEAR TO AFFECTS PARCEL 1, 2, OR PROJECT SITE. EASEMENT EXPIRED ON SEPTEMBER 30, 1999.
- 16 Declaration of Restrictions recorded July 1, 2003 in Liber 13780, Page 130. AFFECTS PARCEL 1. DOES NOT AFFECT PARCEL 2. AFFECTS THE PORTION OF THE PROJECT SITE LYING WITHIN PARCEL 1, BLANKET IN NATURE.
- 17 Nonexclusive Access Easement Recording Date: July 1, 2003 Recording No.: Liber 13780, Page 138 AFFECTS PARCEL 1. DOES NOT AFFECT PARCEL 2. DOES NOT AFFECT THE PROJECT SITE.
- 18 Nonexclusive Storm Sewer Easement Recording Date: July 1, 2003 Recording No.: Liber 13780, Page 151 AFFECTS PARCEL 1. DOES NOT AFFECT PARCEL 2. AFFECTS THE PROJECT SITE AS SHOWN.
- 19 Declaration of Restrictions Recording Date: February 11, 2008 Recording No.: Liber 19178, Page 739 Recording Date: June 25, 2019 Recording No.: Liber 26035, Page 350 Recording Date: September 16, 2020 Recording No.: Liber 26996, Page 269 Recording Date: October 7, 2021 Recording No.: Liber 28070, Page 536 AFFECTS PARCEL 1. DOES NOT AFFECT PARCEL 2. AFFECTS THE PORTION OF THE PROJECT SITE LYING WITHIN PARCEL 1, BLANKET IN NATURE.
- 20 Nonexclusive Driveway Access Easement Agreement Executed by: Good Will Co., Inc. and Fraser Park Place, LLC Recording Date: February 11, 2008 Recording No.: Liber 19178, Page 746 AFFECTS PARCEL 1. DOES NOT AFFECT PARCEL 2. DOES NOT AFFECT THE PROJECT SITE.
- 21 Nonexclusive Storm Water Discharge Agreement Executed by: Good Will Co., Inc. and Fraser Park Place, LLC Recording Date: February 11, 2008 Recording No.: Liber 19178, Page 756 AFFECTS PARCEL 1 IN REGARDS TO STORMATER DISCHARGE. DOES NOT AFFECT PARCEL 2. DOES NOT AFFECT THE PROJECT SITE.
- 22 Temporary License Agreement Executed by: Meijer, Inc. and Sybra, LLC and Macomb Interceptor Drain Drainage District Recording Date: January 10, 2017 Recording No.: Liber 24493, Page 229 MAY NO LONGER AFFECT PARCEL 1 OR THE PROJECT SITE BLANKET IN NATURE AS EASEMENT EXPIRED UPON REOPENING OF 15 MILE ROAD. DOES NOT AFFECT PARCEL 2.
- 23 Temporary License Agreement Executed by: Meijer, Inc. and Macomb Interceptor Drain Drainage District Recording Date: February 7, 2017 Recording No.: Liber 24543, Page 109 (as to Parcel 1) MAY NO LONGER AFFECT PARCEL 1 OR THE PROJECT SITE BLANKET IN NATURE AS EASEMENT EXPIRED UPON REOPENING OF 15 MILE ROAD. DOES NOT AFFECT PARCEL 2.
- 24 Nonexclusive Driveway Access Easement Agreement recorded January 8, 2018 in Liber 25152, Page 318. AFFECTS PARCEL 1 AND THE PROJECT SITE BLANKET IN NATURE. DOES NOT AFFECT PARCEL 2.
- 25 Nonexclusive Driveway Access Easement Agreement recorded June 25, 2019 in Liber 26035, Page 361. AFFECTS PARCEL 1. DOES NOT AFFECT PARCEL 2. DOES NOT AFFECT THE PROJECT SITE.
- 26 Nonexclusive Storm Water Discharge Agreement Executed by: Meijer, Inc. and VDG Utica, LLC Recording Date: June 25, 2019 Recording No.: Liber 26035, Page 377 AFFECTS PARCEL 1 IN REGARDS TO STORMATER DISCHARGE. DOES NOT AFFECT PARCEL 2. DOES NOT AFFECT THE PROJECT SITE.
- 27 Reciprocal Easement Agreement recorded June 25, 2019 in Liber 26035, Page 390. Amended and Restated Reciprocal Easement Agreement recorded September 16, 2020 in Liber 26996, Page 252. AFFECTS PARCEL 1 AND THE PROJECT SITE BLANKET IN NATURE. DOES NOT AFFECT PARCEL 2.
- 28 Nonexclusive Driveway Access Easement Agreement Executed by: Meijer, Inc. and VDG Utica, LLC Recording Date: September 16, 2020 Recording No.: Liber 26996, Page 280 AFFECTS PARCEL 1. DOES NOT AFFECT PARCEL 2. DOES NOT AFFECT THE PROJECT SITE.
- 29 Nonexclusive Storm Water Discharge Agreement Executed by: Meijer, Inc. and VDG Utica, LLC Recording Date: September 16, 2020 Recording No.: Liber 26996, Page 295 AFFECTS PARCEL 1 IN REGARDS TO STORMATER DISCHARGE. DOES NOT AFFECT PARCEL 2. DOES NOT AFFECT THE PROJECT SITE.
- 30 Nonexclusive Driveway Access Easement Agreement Executed by: Meijer, Inc. and Autozone Development LLC Recording Date: October 7, 2021 Recording No.: Liber 28070, Page 547 AFFECTS PARCEL 1. DOES NOT AFFECT PARCEL 2. AFFECTS THE PROJECT SITE AS SHOWN.
- 31 Nonexclusive Storm Water Discharge Agreement Executed by: Meijer, Inc. and Autozone Development LLC Recording Date: October 7, 2021 Recording No.: Liber 28070, Page 563 AFFECTS PARCEL 1 IN REGARDS TO STORM WATER DISCHARGE. DOES NOT AFFECT PARCEL 2. DOES NOT AFFECT THE PROJECT SITE.
- 32 Declaration of Banked Parking Reservation Recording Date: October 7, 2021 Recording No.: Liber 28070, Page 575 AFFECTS PARCEL 1. DOES NOT AFFECT PARCEL 2. DOES NOT AFFECT PROJECT SITE.
- 33 Right(s) of Way and/or Easement(s) and rights incidental thereto as set forth in a document: In favor of: Board of County Road Commissioners of Macomb County Recording No: Liber 5839, Page 285 AFFECTS PARCEL 2. DOES NOT AFFECT PARCEL 1 OR THE PROJECT SITE. DOCUMENT NOTES WIDENING OF PORTION OF RIGHT OF WAY OF UTICA ROAD ADJACENT TO PARCEL 2 TO 60 FEET IN WIDTH.
- 34 Notice of Commencement as recorded at Liber 29030, Page 371. AFFECTS PARCEL 1. NOT A MATTER OF SURVEY.



LIMITED TOPOGRAPHIC SURVEY



811

Know what's below.

Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PROTECT ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE
SOLE RESPONSIBILITY OF THE
CONTRACTOR; NEITHER THE OWNER
NOR THE ENGINEER SHALL BE
EXPECTED TO ASSUME ANY
RESPONSIBILITY FOR SAFETY OF
THE WORK, OF PERSONS ENGAGED
IN THE WORK, OF NEARBY
STRUCTURES, OR OF ANY OTHER
PERSONS.

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ATWELL
866.850.4200 www.atwell-group.com
TWO TOWNE SQUARE, SUITE 700
SOUTHFIELD, MI 48076
248.447.2000

SECTION 31

TOWN 2 NORTH, RANGE 13 EAST

CITY OF FRASER

MACOMB COUNTY, MICHIGAN

MISTER CAR WASH
LIMITED
TOPOGRAPHIC SURVEY
LOCATED IN

DATE 07/10/2024

08/05/2024 REV. PER

REVISIONS

SCALE	0	10	20
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1" = 30 FEET

DR.	JR	CH.	CK
-----	----	-----	----

P.M. C. KELLY

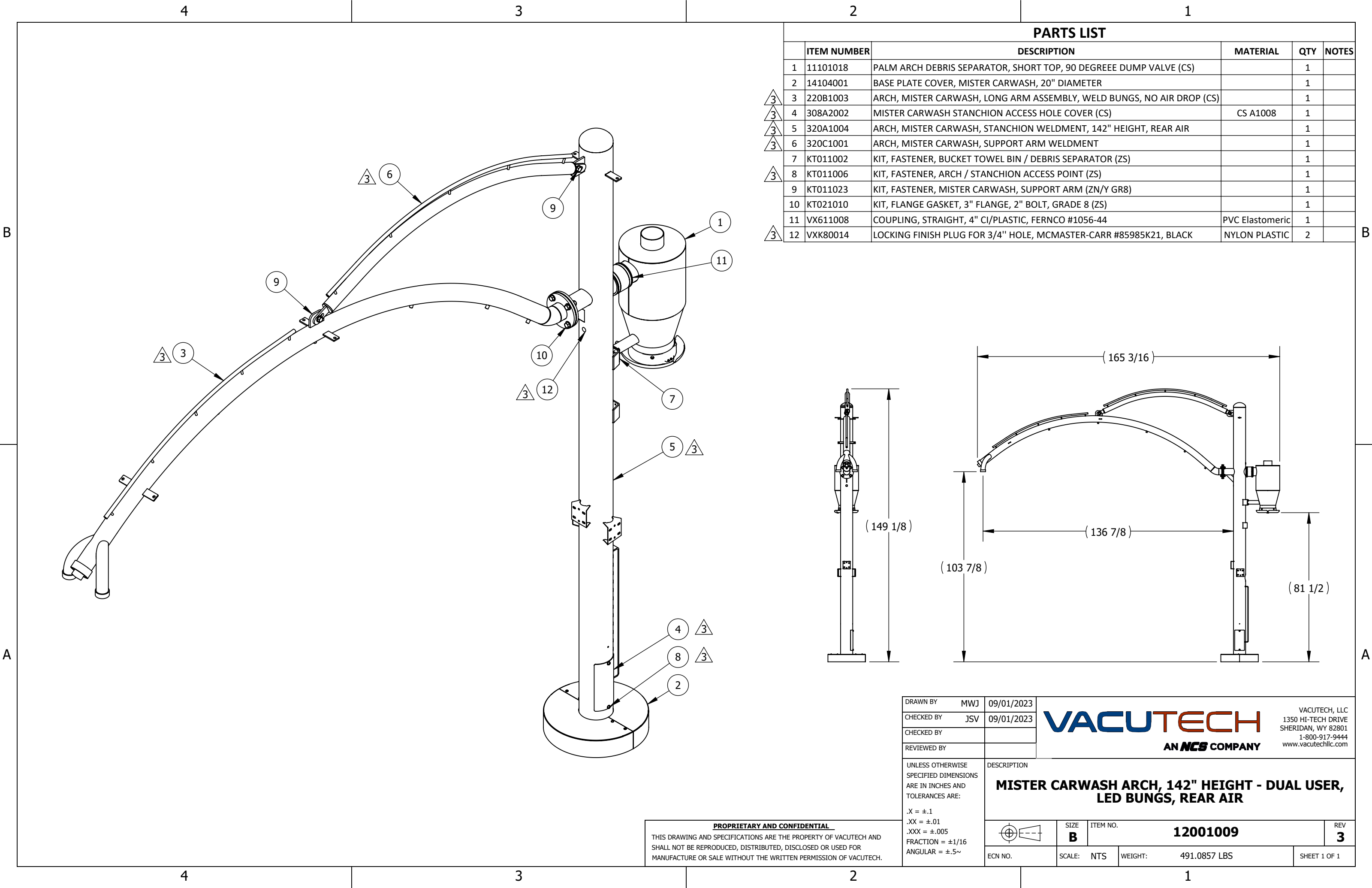
BOOK	NA
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JOB 23000110

1 OF 1

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\\23000110\DWG\SURVEY\23000110TP-01.DWG 8/7/2024 12:42 PM JULIE REINCKE



PARTS LIST					
	ITEM NUMBER	DESCRIPTION	MATERIAL	QTY	NOTES
1	11101018	PALM ARCH DEBRIS SEPARATOR, SHORT TOP, 90 DEGREEE DUMP VALVE (CS)		1	
2	14104001	BASE PLATE COVER, MISTER CARWASH, 20" DIAMETER		1	
3	220B1003	ARCH, MISTER CARWASH, LONG ARM ASSEMBLY, WELD BUNGS, NO AIR DROP (CS)		1	
4	308A2002	MISTER CARWASH STANCHION ACCESS HOLE COVER (CS)	CS A1008	1	
5	320A1004	ARCH, MISTER CARWASH, STANCHION WELDMENT, 142" HEIGHT, REAR AIR		1	
6	320C1001	ARCH, MISTER CARWASH, SUPPORT ARM WELDMENT		1	
7	KT011002	KIT, FASTENER, BUCKET TOWEL BIN / DEBRIS SEPARATOR (ZS)		1	
8	KT011006	KIT, FASTENER, ARCH / STANCHION ACCESS POINT (ZS)		1	
9	KT011023	KIT, FASTENER, MISTER CARWASH, SUPPORT ARM (ZN/Y GR8)		1	
10	KT021010	KIT, FLANGE GASKET, 3" FLANGE, 2" BOLT, GRADE 8 (ZS)		1	
11	VX611008	COUPLING, STRAIGHT, 4" CI/PLASTIC, FERNCO #1056-44	PVC Elastomeric	1	
12	VXK80014	LOCKING FINISH PLUG FOR 3/4" HOLE, MCMASTER-CARR #85985K21, BLACK	NYLON PLASTIC	2	

DRAWN BY	MWJ	09/01/2023	VACUTECH AN <i>NCS</i> COMPANY VACUTECH, LLC 1350 HI-TECH DRIVE SHERIDAN, WY 82801 1-800-917-9444 www.vacutechllc.com		
CHECKED BY	JSV	09/01/2023			
CHECKED BY					
REVIEWED BY					
UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE IN INCHES AND TOLERANCES ARE: .X = ±.1 .XX = ±.01 .XXX = ±.005 FRACTION = ±1/16 ANGULAR = ±.5~			DESCRIPTION MISTER CARWASH ARCH, 142" HEIGHT - DUAL USER, LED BUNGS, REAR AIR		
			SIZE B	ITEM NO. 12001009	REV 3
ECN NO.			SCALE: NTS	WEIGHT: 491.0857 LBS	SHEET 1 OF 1

PROPRIETARY AND CONFIDENTIAL
THIS DRAWING AND SPECIFICATIONS ARE THE PROPERTY OF VACUTECH AND SHALL NOT BE REPRODUCED, DISTRIBUTED, DISCLOSED OR USED FOR MANUFACTURE OR SALE WITHOUT THE WRITTEN PERMISSION OF VACUTECH.

To: Planning Commission

Date: 11/14/2024

From: Deputy City Clerk Greenia

Re: 2025 Meeting Dates

According to the City of Fraser Planning Commission By-Laws, Article VI, Section 1 the following is noted about meeting dates:

“Regular Meetings. Regular meetings shall be held on the first Wednesday of each month in the Fraser City Council Chambers. The Planning Commission may establish alternate dates by majority vote of the Planning Commission.”

In adhering to the above referenced schedule, the following are the proposed dates of the City of Fraser Regular Planning Commission meetings for 2025.

January 1, 2025	February 5, 2025	March 5, 2025
April 2, 2025	May 7, 2025	June 4, 2025
July 2, 2025	August 6, 2025	September 3, 2025
October 1, 2025	November 5, 2025	December 3, 2025

In looking at when the dates fall it appears obvious that you most likely do not want to meet on January 1, 2025 – you could make that date January 8, 2025

A motion would be in order to approve the first Wednesday of each month at 7:00 p.m. for the date and time of the 2025 City of Fraser Regular Planning Commission Meetings (or amend to reflect January 8, 2025).

JANUARY							FEBRUARY							MARCH							APRIL						
S	M	T	W	T	F	S	S	M	T	W	T	F	S	S	M	T	W	T	F	S	S	M	T	W	T	F	S
			1	2	3	4							1							1			1	2	3	4	5
5	6	7	8	9	10	11	2	3	4	5	6	7	8	2	3	4	5	6	7	8	6	7	8	9	10	11	12
12	13	14	15	16	17	18	9	10	11	12	13	14	15	9	10	11	12	13	14	15	13	14	15	16	17	18	19
19	20	21	22	23	24	25	16	17	18	19	20	21	22	16	17	18	19	20	21	22	20	21	22	23	24	25	26
26	27	28	29	30	31		23	24	25	26	27	28		23	24	25	26	27	28	29	27	28	29	30			
														30	31												
MAY							JUNE							JULY							AUGUST						
S	M	T	W	T	F	S	S	M	T	W	T	F	S	S	M	T	W	T	F	S	S	M	T	W	T	F	S
				1	2	3	1	2	3	4	5	6	7			1	2	3	4	5						1	2
4	5	6	7	8	9	10	8	9	10	11	12	13	14	6	7	8	9	10	11	12	3	4	5	6	7	8	9
11	12	13	14	15	16	17	15	16	17	18	19	20	21	13	14	15	16	17	18	19	10	11	12	13	14	15	16
18	19	20	21	22	23	24	22	23	24	25	26	27	28	20	21	22	23	24	25	26	17	18	19	20	21	22	23
25	26	27	28	29	30	31	29	30						27	28	29	30	31			24	25	26	27	28	29	30
																					31						
SEPTEMBER							OCTOBER							NOVEMBER							DECEMBER						
S	M	T	W	T	F	S	S	M	T	W	T	F	S	S	M	T	W	T	F	S	S	M	T	W	T	F	S
	1	2	3	4	5	6				1	2	3	4							1		1	2	3	4	5	6
7	8	9	10	11	12	13	5	6	7	8	9	10	11	2	3	4	5	6	7	8	7	8	9	10	11	12	13
14	15	16	17	18	19	20	12	13	14	15	16	17	18	9	10	11	12	13	14	15	14	15	16	17	18	19	20
21	22	23	24	25	26	27	19	20	21	22	23	24	25	16	17	18	19	20	21	22	21	22	23	24	25	26	27
28	29	30					26	27	28	29	30	31		23	24	25	26	27	28	29	28	29	30	31			



Memorandum

TO: Fraser Planning Commission
Lauren Sayre, AICP
FROM: Don DeNault
Alyssa Ericson
SUBJECT: Driveway Expansion and Lot Coverage
DATE: November 21, 2024

This memo provides a recommendation for addressing residential driveway expansions.

EXISTING ORDINANCE

Below is the existing ordinance which does not allow for driveways in the front or side yard unless its to access required parking areas (side entry garage, detached garage, or side or rear required parking space). Required parking for single-unit dwellings is two-spaces.

Sec. 32-92(10)

Residential off-street parking spaces for one and two-family uses shall consist of a parking strip, driveway, garage, carport, or combination thereof, and shall be located on the premises they are designated to serve. Parking shall be restricted to paved areas. Paved areas shall not be permitted in any required side yard or any required front yard (except the driveway located in the front yard) unless it is necessary to provide access to a side entry garage, detached garage, or side or rear required parking space(s). Horseshoe drives may not be used to satisfy the parking requirements.

RECOMMENDED AMENDMENTS

Sec. 32-92(10): The following provisions are applicable to residential off-street parking spaces for one and two-family uses:

- a) Required off-street parking spaces shall consist of a parking strip, driveway, garage, carport, or combination thereof, and shall be located on the premises they are designated to serve.
- b) Parking shall be restricted to paved areas.
- c) Where paving is proposed in the side yard to less than 18 inches from the property line, run off shall be contained within the property by reverse pitch of one and one-half inches curb to prevent water, road salts or other substances from entering onto the adjoining property.
- d) No driveway located in a front yard shall occupy more than 50 percent of the front yard area.
- e) No driveway in a side yard shall occupy more than 50 percent of the side yard area.



Monthly Planning & Zoning Report

For November 2024

McKenna provides day-to-day assistance to the City, applicants, and the public regarding zoning, planning and economic development matters.

PLANNING, ZONING, DESIGN & ECONOMIC DEVELOPMENT ACTIVITY

As part of our services to the City, McKenna reviews Planning Commission applications and provides recommendations on long range planning, land use, zoning, and design. The following is a summary of active developments; **yellow highlighting indicates new updates for the month.**

PROJECT # / ADDRESS	SCOPE	STATUS / NEXT STEPS
SP21-08 34400 Utica Hockeyland Outlot SLU 24-01	Site plan approval with conditions granted on August 4, 2021.	Site plan approval extended for 12 months, August 2, 2023, subject to site plan amendment approval. Approved to apply for foundation permits. Revised site plan approved at September PC meeting. CofO contingent on satisfaction of all PC conditions of approval. Lot split application approved in October 2022. Approved to move forward with the process without finalized parking agreement. Construction underway. Planning Commission conditionally approved the site plan with amendments to the conditions regarding off-site shared parking agreements. SLU modification approved at March 6, 2024 PC Meeting. Big Boy / Hockeyland management met with City (building, planning, engineering, legal) and has submitted a plan to complete all outstanding items by September 30, 2024. Big Boy / Hockeyland met with City in October to discuss outstanding items.
RZ23-02 32981 & 32875 Utica Road Sheetz	Conditional rezoning from CBD to CG to operate a gas station and fast food restaurant.	Public hearing at the January 3, 2024 Planning Commission Meeting. Planning Commission recommended denial of conditional rezoning to City Council at January 3, 2024 Planning Commission Meeting.



PROJECT # / ADDRESS	SCOPE	STATUS / NEXT STEPS
		City Council approved Conditional Rezoning on October 30, 2024. Applicant is currently revising the agreement in accordance with conditions provided at the meeting. “Motion by Perry supported by Sutherland to approve the conditional rezoning application RZ23-02 based on the information presented by Sheetz with modifications to the maintenance of landscaping, the presentation of a compliant lighting plan, and Sheetz covering the cost of any land transfers to neighboring residents.” The site plan will return to Planning Commission, but Planning Commission will only be able to ensure that the conditions of the conditional rezoning agreement are met.
SP 24-01 ZBA 24-03 34400 Klein Foundation Solutions 360	Site Plan amendment to remove ZBA condition and add paved parking area. Variance amendment to remove shared parking requirement. Variance request to increase parking setback nonconformity.	The site plan will be reviewed at the April 3, 2024 PC meeting. The variance requests granted at the May 2, 2024 ZBA meeting. The site plan was approved at the June 5, 2024 PC meeting. The site plan is in engineering review.
ZBA 24-01 31253 Utica Road Sunbelt Rentals	Request for front parking setback, as well as front fence setback and front setback for a storage area.	The variance request granted at the May 2, 2024 ZBA meeting. The site plan will be conditionally approved at the July 15, 2024 PC meeting. A variance will be reviewed at the August 15 ZBA meeting. This variance is part of the conditional site plan approval. Applicant is in engineering review.
SP 23-04 34575 Commerce Road Drivergent	Request for site plan approval to store buses outdoors.	Planning Commission tabled the request at the May 1, 2024 meeting until the applicant obtains all necessary variances and provides revisions to the site plan. Applicant indicated they are wanting to move their business, so will not be seeking approvals for the outdoor storage. Applicant is currently in litigation.
ZBA 24-04 34835 Utica Road SP 24-05 34835 Utica Road Meijer	Request for reduction of off-street parking spaces.	The variance for a parking reduction to 999 spaces was granted at the September 5, 2024 ZBA meeting. The Meijer site plan amendment to reduce the parking required was approved at the October 2, 2024 Planning Commission Meeting.



PROJECT # / ADDRESS	SCOPE	STATUS / NEXT STEPS
<i>SP 24-04 34625 Utica Road</i>	Request for site plan approval for new car wash.	Planning Commission will hold the public hearing and review the site plan and special land use at the December 4, 2024 meeting.
<i>SLU24-02 34625 Utica Road</i>	Request for special land use for open air business (outdoor vacuums).	Zoning Board will review the variance for lighting at the December 5, 2024 meeting.
<i>ZBA 24-07 34625 Utica Road</i>	Variance request to increase the maximum illumination levels.	
<i>Mister Car Wash</i>		
<i>SP 24-06 32925 Groesbeck Hwy</i> <i>Fraser Optical</i>	Request for exterior façade with materials other than brick or stone.	Planning Commission approved the façade change at the November 6, 2024 meeting with a condition to use the brick façade up to the windows or door awning.
<i>ZBA 24-06 33420 Utica Road</i> <i>Use Variance for multiplex development</i>	Request for a use variance to construct a multiplex development in the RM district.	The Zoning Board of Appeals approved the use variance at the November 7, 2024 meeting. Applicant will return to PC for site plan review, tentatively in January.
<i>Car Wash Moratorium</i>	1 year moratorium on new car wash development	City Council approved the moratorium on new car washes on November 14, 2024.
<i>Sign Ordinance</i>	New sign ordinance	City Council approved the sign ordinance on November 14, 2024.

LOOKING FORWARD

- Full Zoning Ordinance Rewrite (End of 2025 – Early 2026)

CONTACT US

Should you have any questions on the above projects or would like additional information, please contact your City of Fraser team at:

- Lauren Sayre (lsayre@mcka.com)
- Alicia Warren (awarren@mcka.com)