



CITY MANAGER

Elaine Leven

CITY CLERK

August Gitschlag

City of Fraser

CENTENNIAL COMMUNITY

MAYOR

Michael Lesich

MAYOR PRO-TEM

Dana Sutherland

COUNCIL

Amy Baranski

Patrick O'Dell

Kenny Perry

Patrice Schornak

Sherry Stein

**Fraser Planning Commission Agenda
City Council Chambers
33000 Garfield, Fraser, MI 48026
Wednesday, August 7, 2024 @ 7:00 p.m.**

- 1. Call Meeting to Order / Pledge of Allegiance**
- 2. Roll Call**
- 3. Approval of Agenda – August 7, 2024**
- 4. Chairperson's Opening Remarks**
- 5. Approval of Minutes – July 15, 2024**
- 6. New Business**
 - a. Public Hearings – None
 - b. Site Plans
 - i. SP 24-03 – 16000 15 Mile Road – Exterior Façade Review
- 7. Unfinished Business -**
 - a. Sign Ordinance Discussion
- 8. Public Communication on Non-Agenda Items**
- 9. Monthly Report – July 2024**
- 10. Zoning Board of Appeals Member Liaison Report**
- 11. Commissioners' Comments and Items of Interest/Concern**
- 12. Adjournment.**

Posted: July 31, 2024



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**CITY OF FRASER
PLANNING COMMISSION MEETING
JULY 15, 2024 @ 7:00 P.M.
33000 GARFIELD, FRASER, MI 48026**

A regular meeting of the City of Fraser Planning Commission was held on Wednesday, July 15, 2024 at 7:00 p.m. in City Council Chambers, 33000 Garfield, Fraser, MI 48026.

1. CALL TO ORDER

Chairperson Czarnecki called the meeting to order at 7:02 and led the Pledge of Allegiance.

2. ROLL CALL

Present: Barr, Czarnecki, Farina, Keil, Meyer, Tuller, Warunek

Absent:

Others: City Planner Sayre, City Attorney Ericson, City Clerk Gitschlag

3. APPROVAL OF AGENDA

Motion by Keil supported by Warnuk to approve the agenda as presented for the July 15, 2024 City of Fraser Planning Commission

AYES: Barr, Czarnecki, Farina, Keil, Meyer, Tuller, Warunek

NAYS:

Motion Carried

4. CHAIRPERSON'S OPENING REMARKS

Chair Czarnecki read her remarks on the statutory duties of a Planning Commission into the record.

MINUTES
PLANNING COMMISSION MEETING
WEDNESDAY, JUNE 5, 2024 @ 7:00 P.M.

5. APPROVAL OF MINUTES

Motion by Farina supported by Barr to approve the minutes of the June 5, 2024 Planning Commission meeting as presented/amended.

AYES: Barr, Czarnecki, Farina, Keil, Meyer, Tuller, Warunek

NAYS: None

Motion Carried

Request by the chair to revisit May meeting minutes to adjust the attendance possibly recorded in error

6. NEW BUSINESS

a. Public Hearings

There were no public hearings at this time.

b. Site Plans

.SP 24-02 – 31253 & 31285 Utica Road, Sunbelt Rentals

David Sweeny and David Teyber with CESO architects and Bradley Fraser from Sun Belt Rentals were present to promote their vision for the property and answer questions about their proposed site plan. They did express intentions to go before the ZBA to seek a variance for a reduction in the the required 20 feet of green belt

Motion by Warunek supported by Keil to approve the site plan for Sunbelt Rentals on the condition the Fraser ZBA grants a variance regarding the required 20 feet of green belt along the Utica frontage and change the screening fence to chain link and meet all Public Safety and Engineering requirements of the city. The lots must be combined prior to the issuance of any permits and development in question, and stamped and sealed plans must be provided.

AYES: Barr, Czarnecki, Farina, Keil, Meyer, Tuller, Warunek

NAYS: None

Motion Carried

7. UNFINISHED BUSINESS

Commissioner Farina steps out at 7:57, returns at 7:59

a. Sign ordinance presentation

Ms. Sayre gave an overview of proposed changes and updates to the sign ordinance. She broke it down by section highlighting the parts that were new and/or recently discussed. Light discussion of the ability to enforce proposed ordinances took place as well.

**MINUTES
PLANNING COMMISSION MEETING
WEDNESDAY, JUNE 5, 2024 @ 7:00 P.M.**

8. PUBLIC COMMENT ON NON-AGENDA ITEMS

9. MONTHLY REPORT – JUNE 2024

Ms. Ericson reported that the City Administration met with representatives from Big Boy to discuss issues the City had with the property and stated Big Boy was working with the City to rectify their issues.

Commissioner Meyer brought up the Utica Strip Mall, Ms. Sayre reports they recently were granted construction approval.

The Sheets development will hopefully be before Council in September

10. ZONING BOARD OF APPEALS MEMBER LIAISON REPORT

Commissioner Farina reported the last two meetings of the ZBA were cancelled.

11. COMMISSIONERS' COMMENTS AND ITEMS OF INTEREST/CONCERN

Barr: reminded people the fireworks and carnival are this weekend

Czarnecki: Thanked Commissioner Warunek for his help, and asked the website start updating City Clerk, and minutes for the Planning Commission

Farina: Nothing at this time

Keil: Nothing at this time

Meyer: Asked for an update on the Dairy Queen Property, and Ms. Sayre stated they were in the process of finishing a consent judgement, the details are not known.

Tuller: Nothing at this time

Warunek: Nothing at this time

Gitschlag: brought up political signs, and Ms. Sayre stated currently they can be up 180 days after their use.

Sayre: looking for volunteers for a Zoning Ordinance update steering committee.

12. ADJOURNMENT

Motion by Farina supported by Keil to adjourn the meeting at 8:26pm

**MINUTES
PLANNING COMMISSION MEETING
WEDNESDAY, JUNE 5, 2024 @ 7:00 P.M.**

AYES: Barr, Czarnecki, Farina, Keil, Meyer, Tuller, Warunek

NAYS: None

Motion Carried



Memorandum

TO: Fraser Planning Commission
FROM: Lauren Sayre, AICP
Paul Urbiel, AICP – Senior Principal Planner
SUBJECT: 16000 15 Mile Road – Exterior Façade Review
DATE: July 10, 2024

The applicant, Neil Zela on behalf of Owner Sam Shamala, is proposing exterior façade changes to the retail center located at 16000 15 Mile Road (on the northeast corner of 15 Mile and Utica Road). This site is located in the CG, Commercial General district. The proposed changes delineate and change the signage strategy for existing units by: increasing the height of the parapet by 3'-6', replacing portions of the existing upper brick cladding with stucco, replacing portions of the brick column cladding with stucco, and replacing the lower portion of the brick cladding with a cobblestone veneer, replacing the brick storefront sills with limestone, and adding a steel trellis over some of the units. No other changes to the site or the structure are proposed.

Existing:



Proposed:





ZONING ORDINANCE REVIEW

Section 32-131(a): Exterior facing materials. *The exterior of all buildings hereafter erected shall be constructed of aesthetically pleasing brick and/or stone building materials. Other durable, decorative building materials may be approved by the planning commission in instances where the character and style of the proposed structure warrants special consideration. The architecture and approved exterior finish of any building shall be complementary and compatible in style and be of uniform finish on all sides of its exterior when the site is adjacent to any noncommercial or non-industrial district. Within the office and commercial districts, the architecture and approved exterior finish shall be returned on the building side(s) a sufficient distance, as determined by the planning commission, to provide a continuous appearance from the street.*

For commercial districts, such as the CG District, any exterior building material that is not aesthetically pleasing brick and or stone must be approved by the Planning Commission. The standard states that it must be:

- Complementary and compatible in style
- Be of uniform finish on all sides of its exterior
- The architecture and approved exterior finish shall be returned on the building side(s) a sufficient distance.

Section 32-131(d) requires roof-mounted mechanical equipment to be screened. We note that the existing building is noncompliant with this requirement, as mechanical equipment for at least the center's restaurant tenants is visible from both Utica and 15 Mile Roads.

Roof-mounted fixture screening. Roof-mounted appliances, including, but not limited to, air conditioners, heating apparatus, dust collectors, filters, transformers, and any other such appliance or apparatus, shall be enclosed on all sides by view-obscuring screening so as not to be visible from off the site. The design of the screening shall be approved by the planning commission as compatible with the architectural design of the building upon which it is located.



(Above Left: View of end unit from Utica Rd. looking east; Above Right: View of end unit from 15 Mile Rd. looking south.)



(Above View of eastern units from 15 Mile Rd. looking south.)

MASTER PLAN ALIGNMENT

The Future Land Use Map designates this parcel as General Commercial. Building and site design standards for this category indicate that buildings should be constructed of high-quality materials which wrap around the entire building and feature attractive signage.

The proposed façade is composed of high quality materials and meets the intent of the Master Plan.

BUILDING DESIGN AND COMPATIBILITY WITH SURROUNDINGS

Materials

Stucco is typically a mixture of cement, sand, lime, and water. This building material has become increasingly popular as it is durable, fire-resistant, low maintenance, and relatively inexpensive. Fraser Planning Commission has recently approved EFIS (External Insulation and Finishing Systems) on new buildings such as 34275 Utica Road (Juan Blancos) and 36600 Utica Road (Strip Mall). There are also many instances of stucco used as an exterior façade material in Fraser's commercial districts and retail centers (shown below), as well as similar configurations of facades that incorporate different base cladding materials (including cobblestone veneer as proposed), storefront zone cladding, and signage area cladding.



31270 Groesbeck Hwy



31896 Groesbeck Hwy



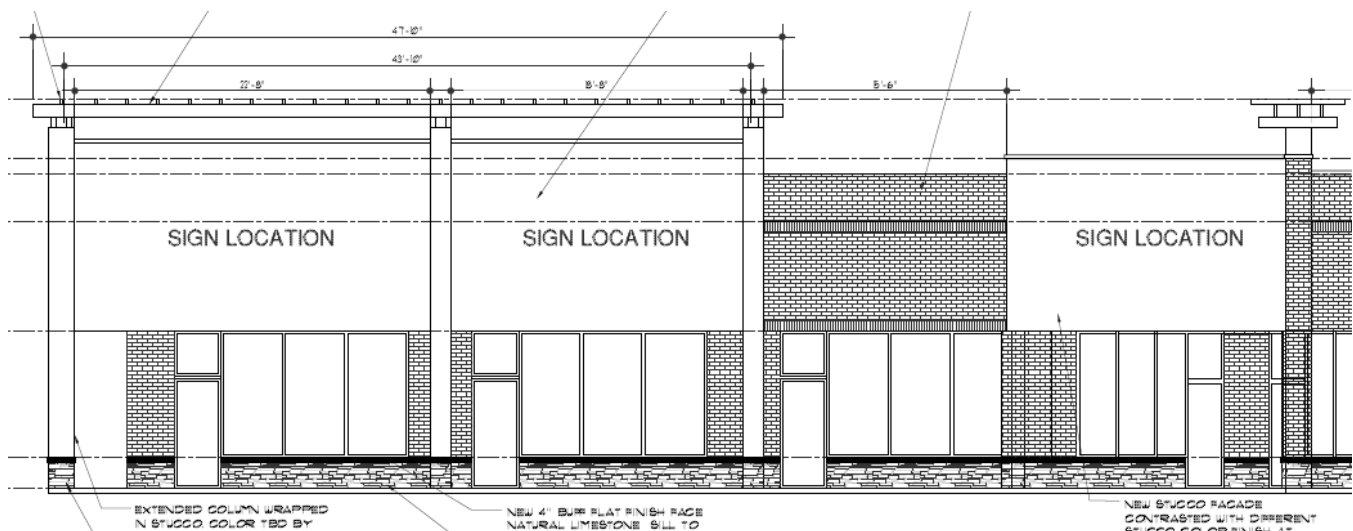
Screening

The proposed façade modifications will certainly bring the existing center more into compliance with Zoning Ordinance requirements for equipment screening, as the new, raised parapet would more effectively obscure the rooftop mechanical equipment. However, it is not apparent from the material provided whether the extended parapets will fully screen the equipment from view off-site. The equipment over the Vic's Diner establishment especially is close to the Utica Road frontage and appears to be taller than the proposed parapet.

TO BE ADDRESSED:

1. *The applicant should demonstrate to the Planning Commission's satisfaction that all mechanical equipment will be screened from view off the site as a result of the proposed façade modifications. If not, additional screening compatible with the architectural design of the building must be added and submitted to the Planning Commission for review.*

Signage



The proposed façade provides natural sign placement areas on the new stucco, and conceptual sign locations are indicated on the provided elevations. It is not clear what the signage strategy is for the units that will still be clad with brick. The proposed sign locations are higher than the existing signs. If the existing signs are not planned to be relocated, the resulting façade will have a variety of sign heights.

TO BE ADDRESSED:

2. *The applicant should provide signage locations for the remainder of the renovated unit facades (specifically for those units that remain brick) for review and to the satisfaction of the Planning Commission.*



Details of individual tenant signage (new, relocated, or otherwise) were not provided, and all new or relocated signs are subject to additional review and permitting for compliance with Zoning Ordinance requirements.

RECOMMENDATION

The proposed renovation represents a positive investment in Fraser's retail stock, and we believe it will contribute to the viability of the existing retail center. We recommend the Planning Commission consider approving the exterior façade modifications, subject to resolution of the following:

1. *The applicant should demonstrate to the Planning Commission's satisfaction that all mechanical equipment will be screened from view off the site as a result of the proposed façade modifications. If not, additional screening compatible with the architectural design of the building must be added and submitted to the Planning Commission for review.*
2. *The applicant should provide signage locations for the remainder of the renovated unit facades (specifically for those units that remain brick) for review and to the satisfaction of the Planning Commission.*

Please feel free to contact us with any questions. We look forward to discussing this matter at your upcoming meeting.

Department Use Only:

Permit Issue Date: _____ Permit No: _____ Receipt No: _____

**Application for Plan Examination and Building Permit
CITY OF FRASER BUILDING DEPARTMENT**

33000 GARFIELD ROAD
FRASER, MI 48026

OFFICE: (586) 293-3100 option 2
INSPECTION LINE: (586) 293-3100 ext. 153

APPLICANT STATUS (circle one): **OWNER** **CONTRACTOR** **OTHER**

Location, ownership, and details must be correct, complete, and legible. A separate application is required for each structure or tenant space. A site plan, specifications and plans draw to scale (including electrical, plumbing and heating, if applicable) must be filed with this application. All easements must be shown on the site plan.

PROJECT

LOCATION/ADDRESS: 16000 15 mile Rd

SUBDIVISION: Signature Square LOT #: _____

PROPERTY #: _____ - _____ - _____ LOT/PARCEL SIZE: _____

TYPE OF PROJECT

Single Family Residential

Multiple Family

No. of units _____

Commercial

Industrial

Other _____

REQUEST FOR BUILDING PERMIT TO:

Construct

Complete

Addition to

Alter

Repair

Demolish

Other _____

New Building

Existing Structure

Garage

Deck

Roof

Pool/Spa

Shed/Accessory Building

Other _____

GENERAL DESCRIPTION OF PROJECT:

plan show 1x4 up about 4' to
5' up with Brick and covering all the columns with
limestone and Elice not paint the Back.

Project Size (sq. ft) _____ Estimated Cost \$ 100,000 Number of Stories 1

LEGAL PROPERTY OWNER:

Home Address: Hussam Shamaya
5393 Barrington Dr City: Rochester State: NT
Zip Code: 48306 Home Phone: 586 209-1318 Email: Samshamaya@gmail.com

Individual Proposing Construction, if other than owner (i.e., Contractor, Const. Manager, etc.)

Contractor Name: Neil Zela
Address: 13001 Cathedral Ct City: Shelby Twp State: NT
Zip Code: 48315 Office Phone: 586-405-4559 Email: Equitypropertymanagement@gmail.com
Fax: _____ Contact Person: Neil

Residential Builder's License # _____ Expiration Date: _____
Driver's License #: _____ Expiration Date: _____ Date of Birth: _____
Federal Employer ID Number: _____
(or reason for exemption) _____
Workers Comp Insurance Carrier: _____
(or reason for exemption) _____
MESC Employer Number: _____
(or reason for exemption) _____

ARCHITECT/ ENGINEER:

JSN Architecture
Address: 3856 12 mile Rd City: Berkley State: NT
Zip Code: 48072 Office Phone: 248-433-2030 Email: Joe@jsn-aia.com
Fax: _____ Contact Person: Joseph Novitsky

I certify that the information on this application and the plans and specifications attached hereto are true and correct and that I have reviewed all deed restrictions, which may apply to this construction and am aware of my responsibility there under. Further, I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and we agree to conform to all applicable laws of this jurisdiction.

Section 23a of the State of Michigan Construction Code Act of 1972, Act no. 230 of the Public Acts of 1972, being Section 125, 1523a of the Michigan Compiled Laws, prohibits from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Violators of Section 23a are subject to civil fines.

Neil Zela
Printed Name of Applicant

Neil Zela
Signature of Applicant

6-28-24
Date

Sam Shamaya
Printed Name of Owner

Sam Shamaya
Signature of Owner

6-28-24
Date

CODE ANALYSIS (2015 M.R.C.E.B/ 2015 M.B.C./
I.B.C./ 2015 M.M.C./ 2017 N.E.C./ 2018 M.P.C.):

I.B.C./ MICHIGAN BUILDING CODE 2015:

CHAPTER - 3	USE AND OCCUPANCY CLASSIFICATION 302.1 CLASSIFICATION - MIXED USE USE GROUP(S): 'A' - ASSEMBLY - SEPERATED
CHAPTER - 5	GENERAL BUILDING HEIGHTS AND AREAS SCOPE OF WORK AS PROPOSED DOES NOT INCREASE EXISTING BUILDING HEIGHT OR AREA. GENERAL AREA AND HEIGHT LIMITATIONS HAVE BEEN REVIEWED AND APPROVED AS PART OF THE ORIGINAL BUILDING PERMIT.
TABLE 503	AREA LIMITS ARE ALREADY APPROVED ACCORDING TO THE ORIGINAL CODE REVIEW FOR THE WHOLE BUILDING.
CHAPTER - 6	TYPES OF CONSTRUCTION TYPE 2-B (II-B), UNPROTECTED W/O FIRE SUPPRESSION
CHAPTER - 7	FIRE AND SMOKE PROTECTIVE FEATURES FIRE RESISTIVE RATING(S) FOR NEW CONSTRUCTION SHALL MEET THE REQUIREMENTS OF CHAPTER 7.
CHAPTER - 8	INTERIOR FINISHES ROOM FINISHES SHALL MEET THE REQUIREMENTS OF SECTION 803 AND TABLE 803.3. CLASS 'C' FOR INTERIOR ROOMS & CLASS 'B' FOR CORRIDORS & GENERAL AREAS. INTERIOR FLOORS SHALL MEET THE REQUIREMENTS OF SECTION 804. CLASS II IN CORRIDORS AND OPEN AREAS AND TYPE DOC FF-1 IN ENCLOSED ROOMS.
CHAPTER - 10	MEANS OF EGRESS DOORS PROVIDED ARE AT LEAST 36 INCHES WIDE (WHERE REQUIRED) TO MEET EGRESS AND ALSO BARRIER FREE REQUIREMENTS.
CHAPTER - 11	ACCESSIBILITY ALL NEW CONSTRUCTION SHALL COMPLY WITH CHAPTER 11 REQUIREMENTS.
CHAPTER - 12	INTERIOR ENVIRONMENT THE LIGHTING AND NATURAL LIGHT REQUIREMENTS HAVE BEEN DESIGNED TO MEET OR EXCEED THE MINIMUM REQUIRED LIGHTING LEVELS FOR BOTH DAY AND NIGHT FOR THIS OFFICE SPACE.
SECTION 1205	EXISTING MECHANICAL VENTILATION TO BE DESIGNED AND MODIFIED TO CORRESPOND WITH THESE PLANS AND TENANT REQUIREMENTS. THE MECHANICAL CONTRACTOR SHALL SUBMIT AIR DISTRIBUTION DRAWINGS FOR REVIEW BY THE ARCHITECT AND THE CITY.
SECTION 1203	EXISTING MECHANICAL VENTILATION TO BE DESIGNED AND MODIFIED TO CORRESPOND WITH THESE PLANS AND TENANT REQUIREMENTS. THE MECHANICAL CONTRACTOR SHALL SUBMIT AIR DISTRIBUTION DRAWINGS FOR REVIEW BY THE ARCHITECT AND THE CITY.
A.D.A.	APPLICABLE PARTS OF THE AMERICANS WITH DISABILITIES ACT SHALL APPLY TO THIS TENANT SPACE. ALL DOORS WIDTHS, ELECTRICAL DEVICES, PLUMBING DEVICES, CORRIDORS, SIGNAGE AND ALARM DEVICES SHALL MEET ADA FOR THE PHYSICALLY, VISUALLY AND HEARING IMPAIRED.

THE AMERICANS WITH DISABILITIES ACT PROVIDES THAT IT IS A VIOLATION OF THE ADA TO CONSTRUCT A FACILITY FOR FIRST OCCUPANCY LATER THAN JANUARY 26, 1993, THAT DOES NOT MEET THE ACCESSIBILITY AND USABILITY REQUIREMENTS OF THE ADA EXCEPT WHERE AN ENTITY CAN DEMONSTRATE THAT IT IS STRUCTURALLY IMPRACTICAL TO MEET SUCH REQUIREMENTS. TENANT AND LANDLORD ACKNOWLEDGE THAT THESE REQUIREMENTS OF THE ADA WILL BE SUBJECT TO VARIOUS AND POSSIBLY CONTRADICTORY INTERPRETATIONS. THE ARCHITECT, THEREFORE, WILL USE ITS BEST PROFESSIONAL EFFORT TO INTERPRET APPLICABLE ADA REQUIREMENTS AND OTHER FEDERAL, STATE AND LOCAL CODES, LAWS AND ORDINANCES AS THEY APPLY TO THE PROJECT. THE ARCHITECT, HOWEVER, CANNOT AND DOES NOT WARRANT YOU GUARANTEE THAT THE TENANT LEASED SPACE COMPLY WITH ALL INTERPRETATIONS OF THE ADA REQUIREMENTS AS THEY APPLY TO THIS PROJECT. THE ARCHITECT DOES NOT WARRANT OR GUARANTEE THAT THE DESIGN OF ANY COMPONENT IN THE TENANT LEASED SPACE WILL MEET THE REQUIREMENTS OF THE ADA IF THEY HAVE NOT BEEN SUBMITTED TO THE ARCHITECT FOR REVIEW.

GENERAL NOTES:

- THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2015 MICHIGAN REHABILITATION BUILDINGS, 2015 MICHIGAN BUILDING CODE, 2015 MICHIGAN MECHANICAL CODE, 2011 NATIONAL ELECTRICAL CODE (NEC) AND 2018 MICHIGAN PLUMBING CODE. ALL CONSTRUCTION SHALL CONFORM TO THEIR REQUIREMENTS AS WELL AS ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES IN EFFECT.
- THESE NOTES ARE FOR GENERAL REFERENCE. WHERE CONFLICTS EXIST BETWEEN THESE NOTES AND CURRENT CODE(S), THE MORE STRINGENT REQUIREMENTS SHALL PREVAIL.
- MATERIALS OR CONSTRUCTION PROCEDURES WHICH ARE PROHIBITED BY LAW OR SHALL CAUSE A HARMFUL EFFECT TO THE NATURAL ENVIRONMENT OR TO THE HEALTH OF ANY PERSON ON THE SITE DURING CONSTRUCTION AND/ OR DURING OCCUPANCY SHALL NOT BE USED ON THIS PROJECT.
- ALL TRADES SHALL CONFORM WITH ALL APPLICABLE FEDERAL, STATE, LOCAL, AND OSHA CODES, RULES AND REGULATIONS. IN CASE OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
- ANY DISCREPANCIES, ERRORS, AND/OR OMISSIONS IN THE DRAWINGS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/DESIGNER. FAILURE TO DO SO MAY RESULT IN FUTURE CHANGES, THE COST OF WHICH WILL BE BORNE BY THE APPROPRIATE TRADE.
- DO NOT SCALE DRAWINGS, USE ONLY FIGURED DIMENSIONS!
- PROVIDE TEMPORARY BRACING AS REQUIRED, TO ENSURE THE STABILITY OF THE STRUCTURE UNTIL THE PERMANENT FRAMING IS IN PLACE.
- PROVIDE SAFETY GLAZING IN CONFORMANCE WITH CODE.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE M.B.C. 2015 BASIC BUILDING CODE AND ALL THE CITY AND LOCAL ORDINANCES AS ADOPTED BY THE STATE OF MICHIGAN.
- THE OWNER AND/ OR ARCHITECT IS NOT RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION, NOR FOR THE SAFETY ON THE JOBSITE, AND THAT THESE RESPONSIBILITIES ARE INTENDED TO BE AND TO REMAIN SOLELY THOSE OF THE GENERAL CONTRACTOR.
- ALL CONTRACTS WITH HVAC, ELECTRICAL, AND PLUMBING SUBCONTRACTORS SHALL BE CONSIDERED "DESIGN - BUILD". SUBCONTRACTOR SHALL ENGINEER WORK BETWEEN EXISTING BUILDING SYSTEMS, THE ARCHITECTURAL PLANS AND TENANT REQUIREMENTS. ANY ENGINEERED DRAWINGS REQUIRED BY CITY SHALL BE PREPARED AND SUBMITTED BY SUBCONTRACTOR. ARCHITECT SHALL RECEIVE A COPY FOR REVIEW.

2015 MICHIGAN REHABILITATION CODE
FOR EXISTING BUILDINGS:

CHAPTER - 3	PROVISIONS FOR ALL COMPLIANCE METHODS 301 ADMINISTRATION 301.2 WORK AREA COMPLIANCE METHOD
CHAPTER - 5	CLASSIFICATION OF WORK SECTION 504 ALTERATION - LEVEL 2

MATERIALS			
PRODUCT	COMPANY/MANUFACTURER	FINISH/TYPE	SQ FT
STUCCO	STO (MIKE: 770-329-5942)	PER MANUFACTURER RECOMMENDATION	32656SF (COLR: 621 SF, BTW, COLR: 1,992 SF, OTHER: 12526SF)
STEEL	OWNER'S DETERMINATION	36 KSI	SEE SHT# A-2.1
BRICK	AUTHINTIC (866-259-6263)	TIERRA-MODULAR	882 SF
STONE BASE	OWNER'S DETERMINATION	PLUS COBBLESTONE	785 SF
LIMESTONE	OWNER'S DETERMINATION	2 1/2" SPLIT FACE-BUFF FLAT FINISH	126 SF

DIVISION 5

(ONLY WHERE APPLICABLE)

- PROVIDE GALVANIZED STEEL WHERE MATERIAL IS EXPOSED TO THE WEATHER. PROVIDE ZINC COATING FOR THOSE ITEMS SHOWN OR SPECIFIED TO BE GALVANIZED AS FOLLOWS:
 - ASTM A153 FOR GALVANIZING IRON OR STEEL HARDWARE.
 - ASTM A123 FOR GALVANIZING ROLLED, PRESSED AND FORGED STEEL SHAPES, PLATES, BARS, AND STRIP 1/8" THICK AND HEAVIER.
 - ASTM A386 FOR GALVANIZING ASSEMBLED STEEL PRODUCTS.
- PROVIDE STRUCTURAL STEEL AS PER DRAWINGS, STRENGTH TO BE 36KSI.
- PROVIDE ANCHOR AND THRU BOLTS, A-301 GALVANIZED. SIZES INDICATED ON DRAWINGS.
- PROVIDE AND INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, STEEL FRAMING AND ACCESSORIES BY DALE/ INCOR OR APPROVED EQUIVALENT.
- ALL OTHER STUDS, JOISTS, AND ACCESSORIES TO MEET ASTM A611 GRADE C, MINIMUM YIELD STRENGTH TO BE 33,000 P.S.I.

ALL STEEL FRAMING TO BE PAINTED WITH RUST INHIBITOR MEETING THE REQUIREMENTS SET FORTH IN TTP-636C.

DIVISION 6

WOOD, PLASTIC AND COMPOSITES
(ONLY WHERE APPLICABLE)

- PERFORM ALL ROUGH CARPENTRY AS SHOWN ON THE PLANS.
- PROVIDE HOT-DIP GALVANIZED FASTENERS AND ANCHORAGES FOR WORK EXPOSED TO THE WEATHER.
- PROVIDE AND INSTALL TREATED WOOD NAILERS. ALL WOOD NAILERS ANCHORED TO STEEL OR MASONRY TO BE 2" X 4" MINIMUM OR AS INDICATED ON THE DRAWINGS.

THERMAL AND MOISTURE PROTECTION

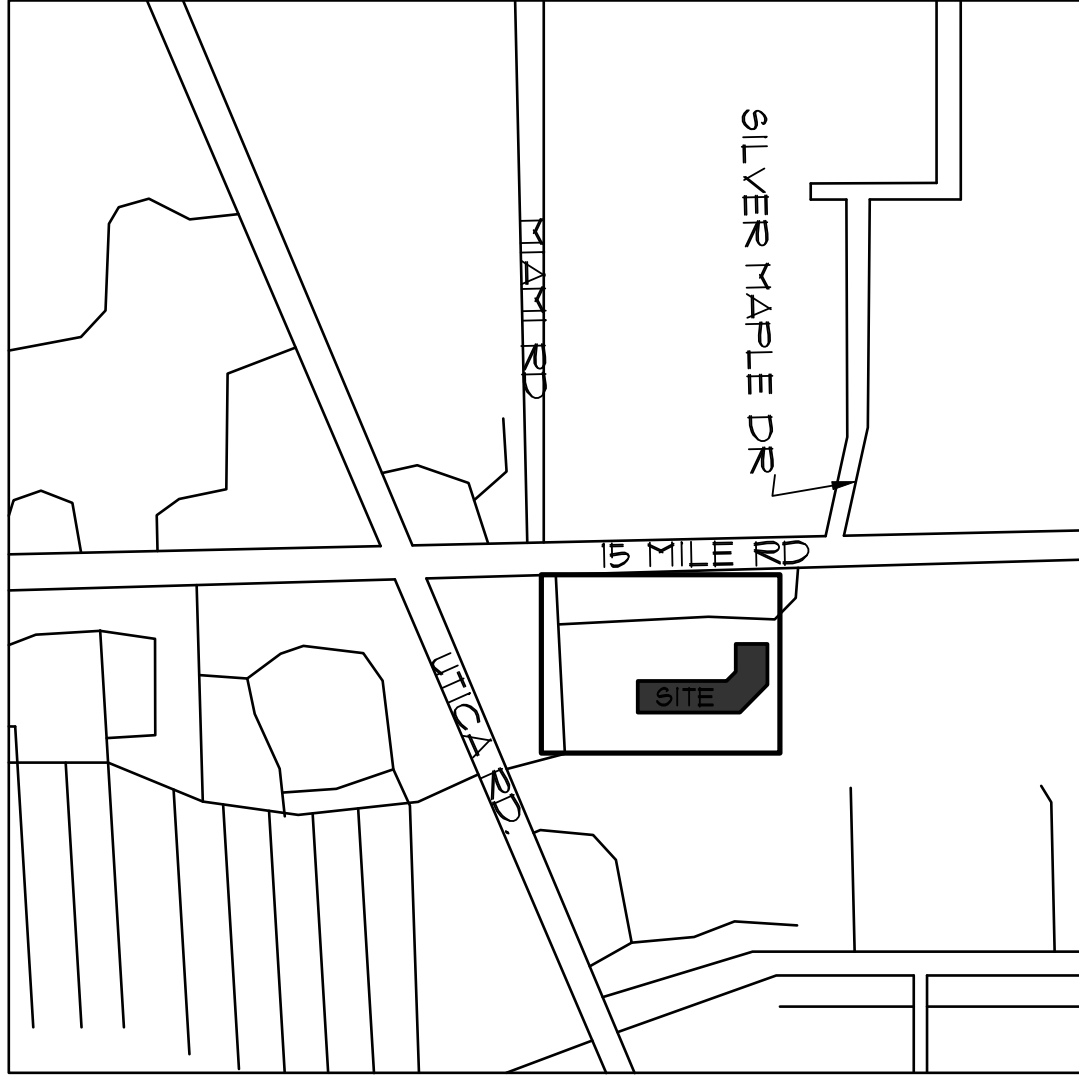
- PROVIDE AND INSTALL ACCORDING TO MANUFACTURER'S RECOMMENDATIONS CLASS A, CLOSED CELL EXPANDED POLYSTYRENE (E.P.S.) RIGID INSULATION RATED FOR GROUND CONTACT. BOARDS SHALL BE 2 INCH THICK WITH 250 P.S.I. COMPRESSIVE STRENGTH, 0.1% MAXIMUM WATER ABSORPTION, AND THERMAL RESISTANCE VALUE OF 10.
- PROVIDE AND INSTALL 6 MIL MINIMUM POLY VAPOR RETARDER WHEREVER SLAB ON GRADE CONCRETE IS INSTALLED AND/ OR REMOVED / REINSTALLED. OVERLAP ADJACENT SHEETS BY A MINIMUM OF 6", AND TAPE OR SECURE ALL EDGES AND SEAMS TO MINIMIZE AIR AND VAPOR INFILTRATION AS RECOMMENDED BY THE MANUFACTURER.
- WEATHER BARRIER/ WATER-RESISTIVE AIR BARRIER MEMBRANE MATERIAL(S):
 - WEATHER BARRIER MEMBRANE: WEATHER-RESISTANT MEMBRANE FOR VERTICAL BUILDING ENVELOPE PROTECTION THAT WILL MAINTAIN AIR/ MOISTURE RESISTANCE WHILE MAINTAINING MOISTURE-VAPOR PERMEABILITY.
 - SEAM TAPE
 - FLASHING
 - FASTENERS

QUALITY ASSURANCE

- QUALIFICATIONS
 - INSTALLER SHALL HAVE EXPERIENCE WITH INSTALLATION OF WEATHER BARRIER ASSEMBLIES UNDER SIMILAR CONDITIONS.
 - INSTALLATION SHALL BE IN ACCORDANCE WITH WEATHER BARRIER MANUFACTURER'S INSTALLATION GUIDELINES AND RECOMMENDATIONS.
 - SOURCE LIMITATIONS: PROVIDE WEATHER BARRIER AND ACCESSORY MATERIALS PRODUCED BY SINGLE MANUFACTURER.

LEGAL DESCRIPTION

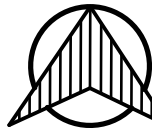
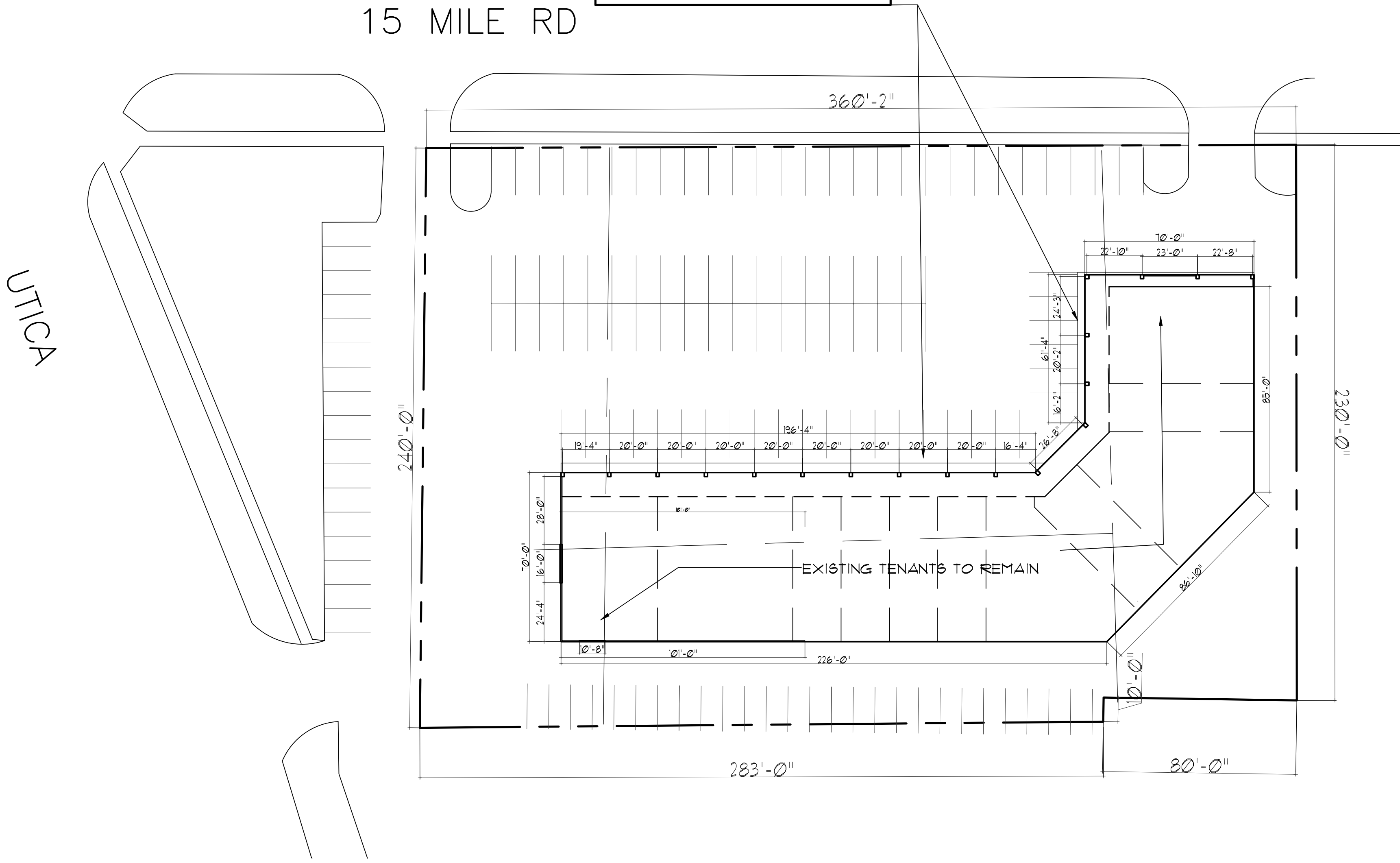
T2N, R15E, SEC 31, COMM AT N 1/4 FT SEC 31; TH 501'01"40" W 60 FT TO POB; TH 988'25"30" E 36'0"65" FT; TH 501'59"30" W 230 FT; TH N 88'25"30" W 211'36 FT; TH N01'01"40" E 240 FT TO THE POB. (DESC. INCL. FT OF VAC MIAMI AVE)



LOCATION MAP

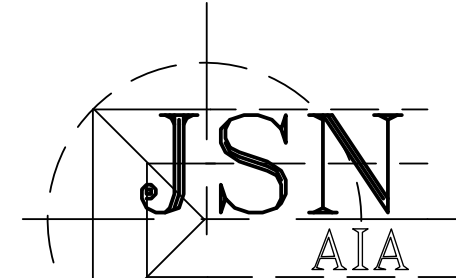
SCALE: N.T.S.

SCOPE OF WORK:
NEW FACADE UPGRADE



EXISTING SITE PLAN

SCALE: 1/32" = 1'-0"



Joseph S. Novitsky
Architecture
3856 12 Mile Road
Berkley, MI 48072
(248) 433-2030

Seal:

Revisions:

DATE	DESCRIPTION
05/22/2024	EXISTING CONDITIONS
06/06/2024	REVIEW
06/12/2024	REVIEW
06/21/2024	BIDS & PERMITS

Project Name:

16000 FIFTEEN MILE RD.
FRASER, MI 48026

OWNER:

Sheet Title:

SITE
PLAN,
ZONING
&GENERAL
NOTES

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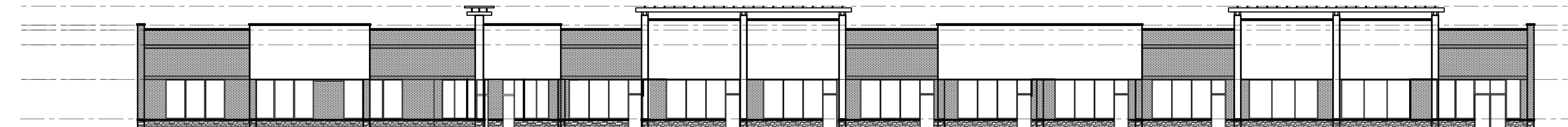
EXISTING NORTH ELEVATION

SCALE: 1/16" = 1'-0"



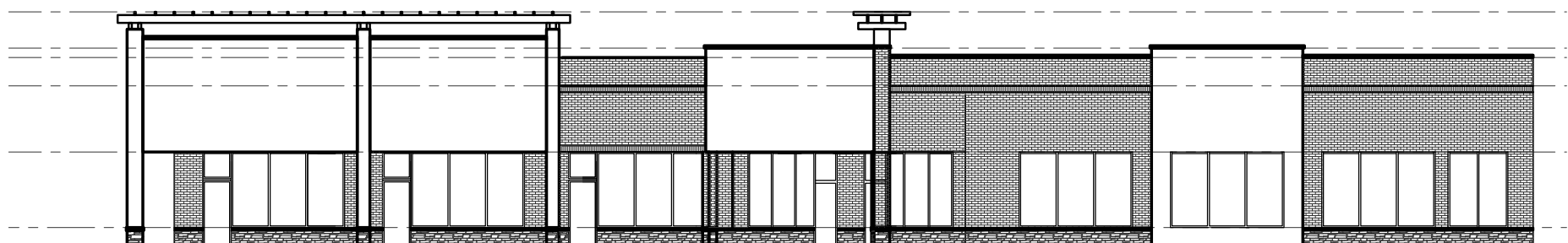
EXISTING WEST ELEVATION

SCALE: 1/16" = 1'-0"



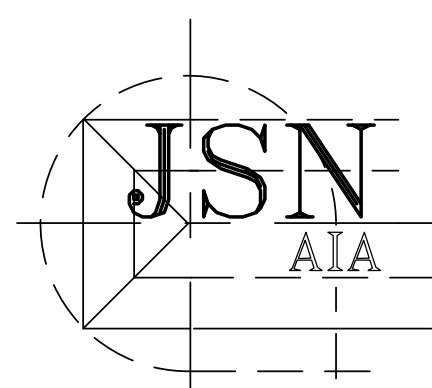
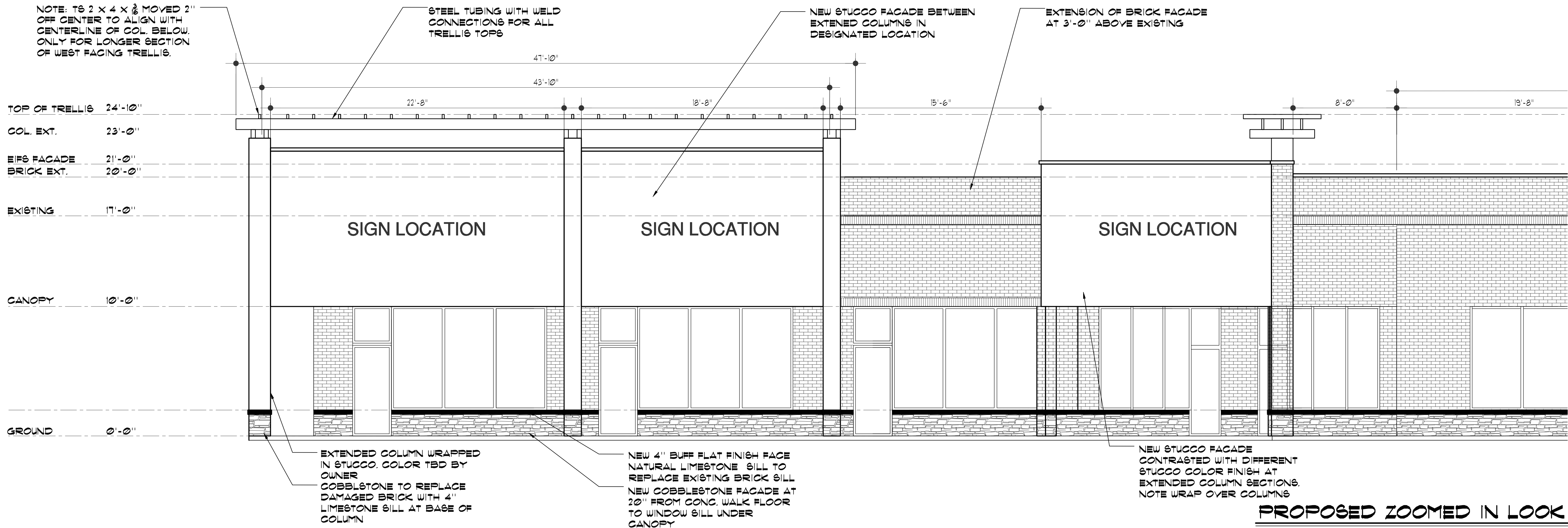
PROPOSED FRONT (NORTH) ELEVATION

SCALE: 1/16" = 1'-0"



PROPOSED SIDE (WEST) ELEVATION

SCALE: 1/16" = 1'-0"



Joseph S. Novitsky
Architecture
3856 12 Mile Road
Berkley, MI 48072
(248) 433-2030

Seal:

Revisions:

DATE	DESCRIPTION
05/22/2024	EXISTING CONDITIONS
05/29/2024	REVIEW
06/06/2024	REVIEW
06/17/2024	BIDS & PERMITS

Project Name:
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**EXISTING &
PROPOSED
ELEVATIONS**

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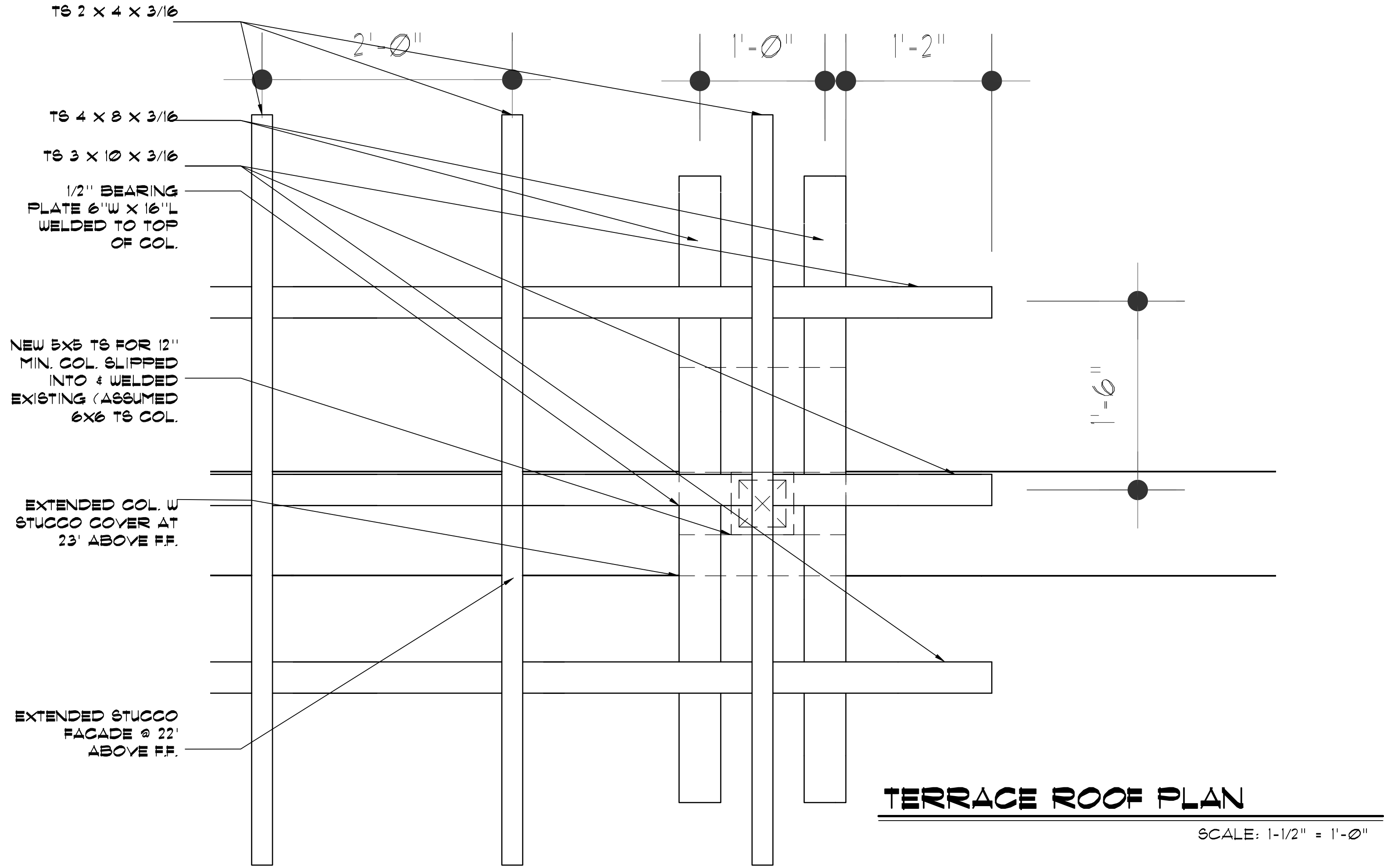
A-1.2

GENERAL NOTES:

- 1. ASSUME WELDED CONNECTION FOR ALL TRELLIS MEMBERS.
- 2. STEEL TUBING (3/16" THK) ARE TO BE FINISHED WITH A BLACK PAINT.
- 3. WELD TO BREAKING PLATE MUST OCCUR BEFORE PLYWOOD APPLICATION IN EXT. COL. CONSTRUCTION PROCESS.
- 4. SEE BELOW FOR TRELLIS WEIGHT BREAKDOWN.TOTAL WEIGHT OF ONE CONSTRUCTION IS ESTIMATED AT 3,135LBS. \$ 3,332 LBS.

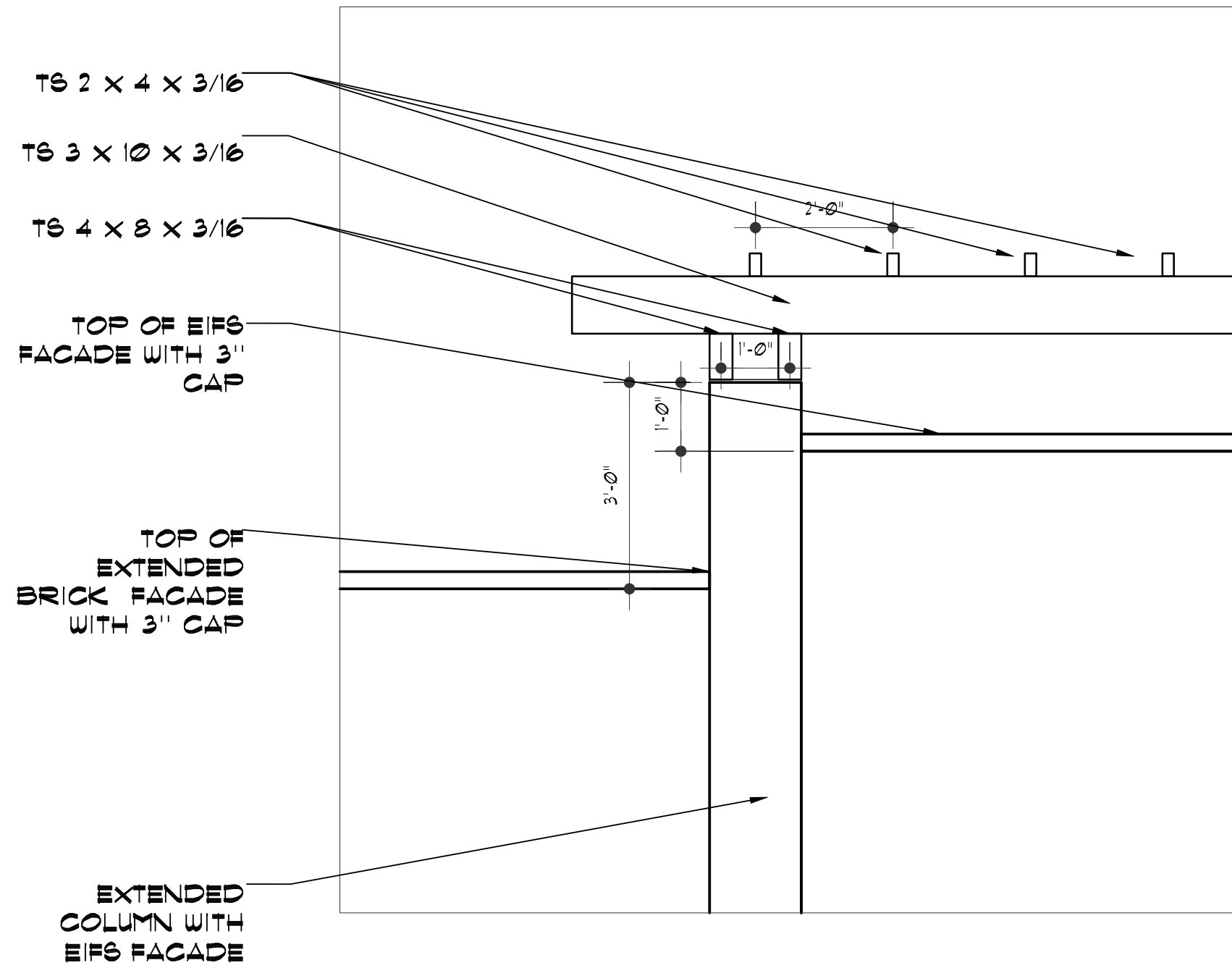
TRELLIS SPECS				
SIZE	SPAN	LBS./FT.	QTY.(#)	TOTAL(LBS.)
2 X 4 X 3/16	6'-0"	6.87	21/*23	866/*948
2 X 10X 3/16	21'-10"/*26'	14	6/*343	1,834/*2,009
4 X 8 X 3/16	5'-0"	14.5	6	435

* RELATES TO EXTENDED 2' ON TRELLIS FACING WEST(SEE DETAILS FOR DIFFERENT CASE.



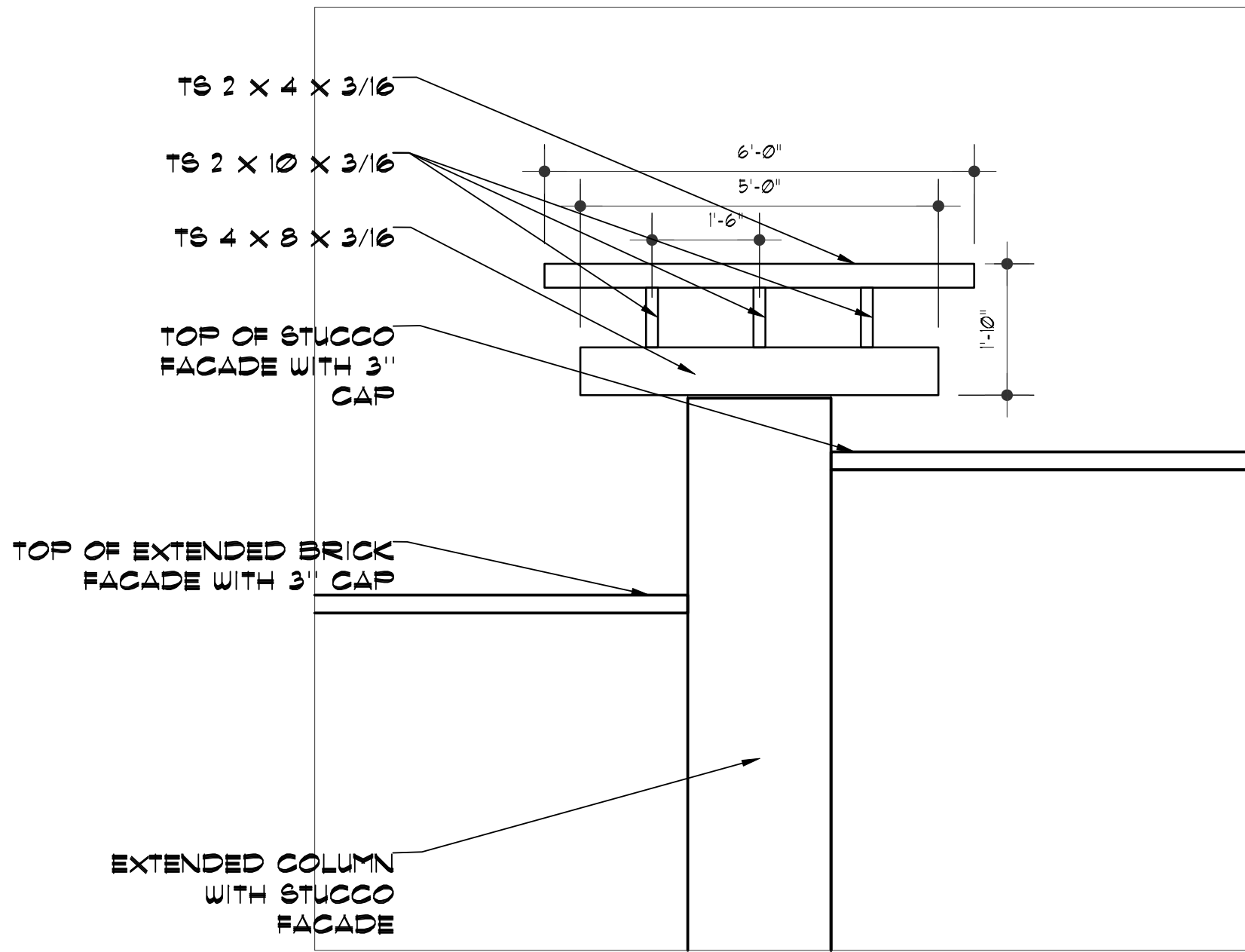
TERRACE ROOF PLAN

SCALE: 1-1/2" = 1'-0"



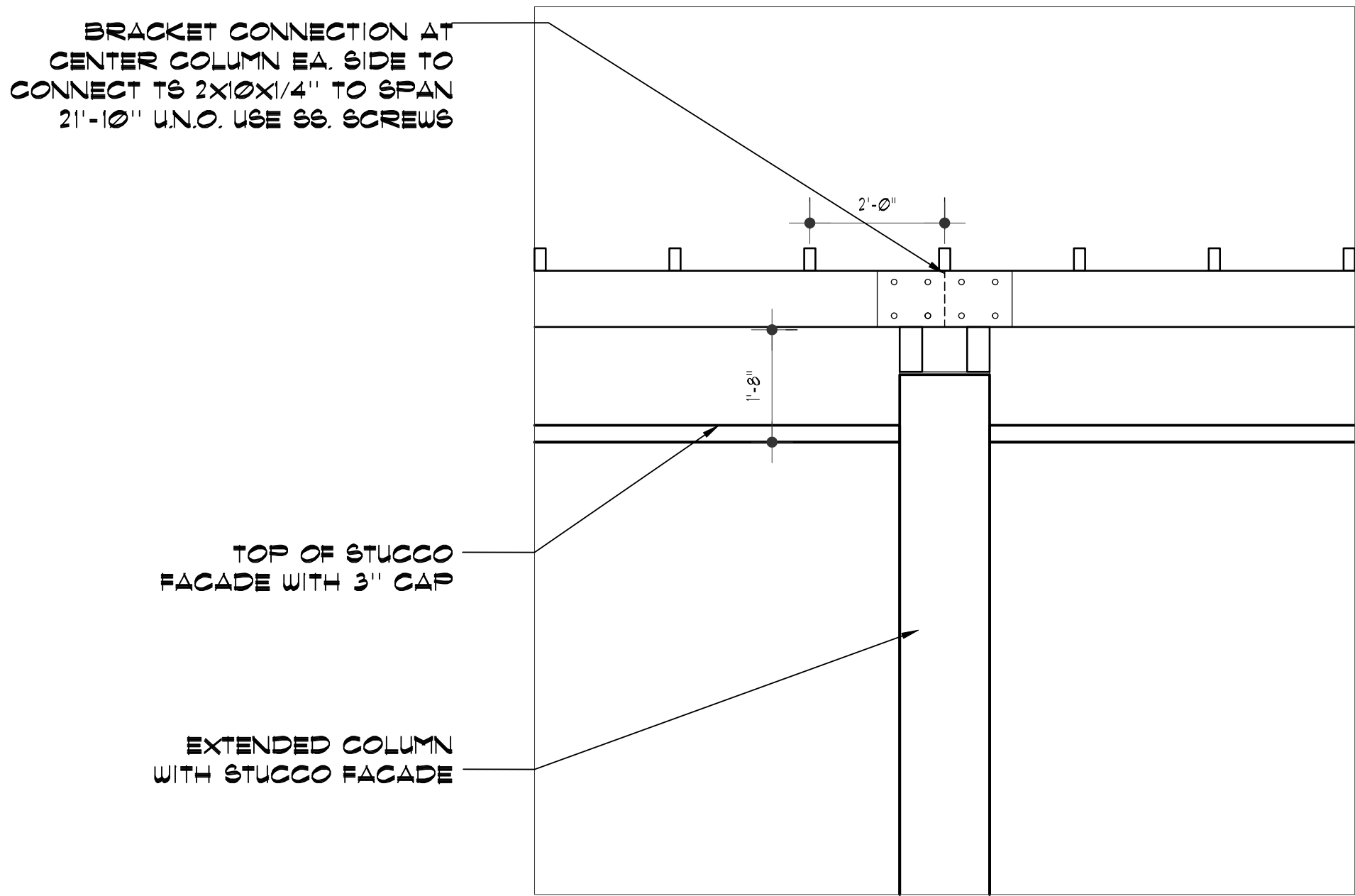
TERRACE ROOF DETAIL (FRONT)

SCALE: 1/2" = 1'-0"



TERRACE ROOF DETAIL (SIDE)

SCALE: 1/2" = 1'-0"



TERRACE ROOF DETAIL (CENTER)

SCALE: 1/2" = 1'-0"

JSN

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Architecture
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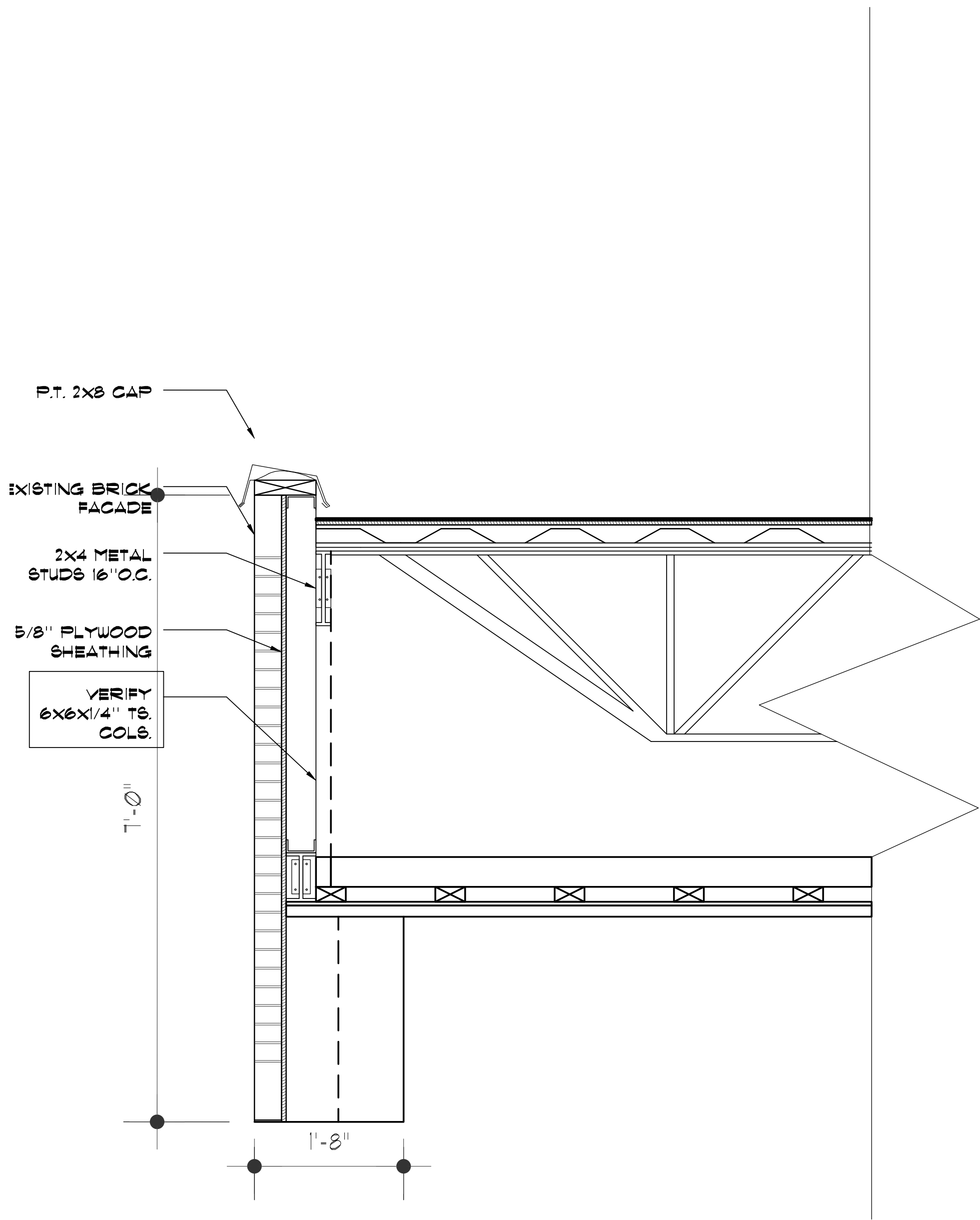
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**TRELLIS
DETAIL**

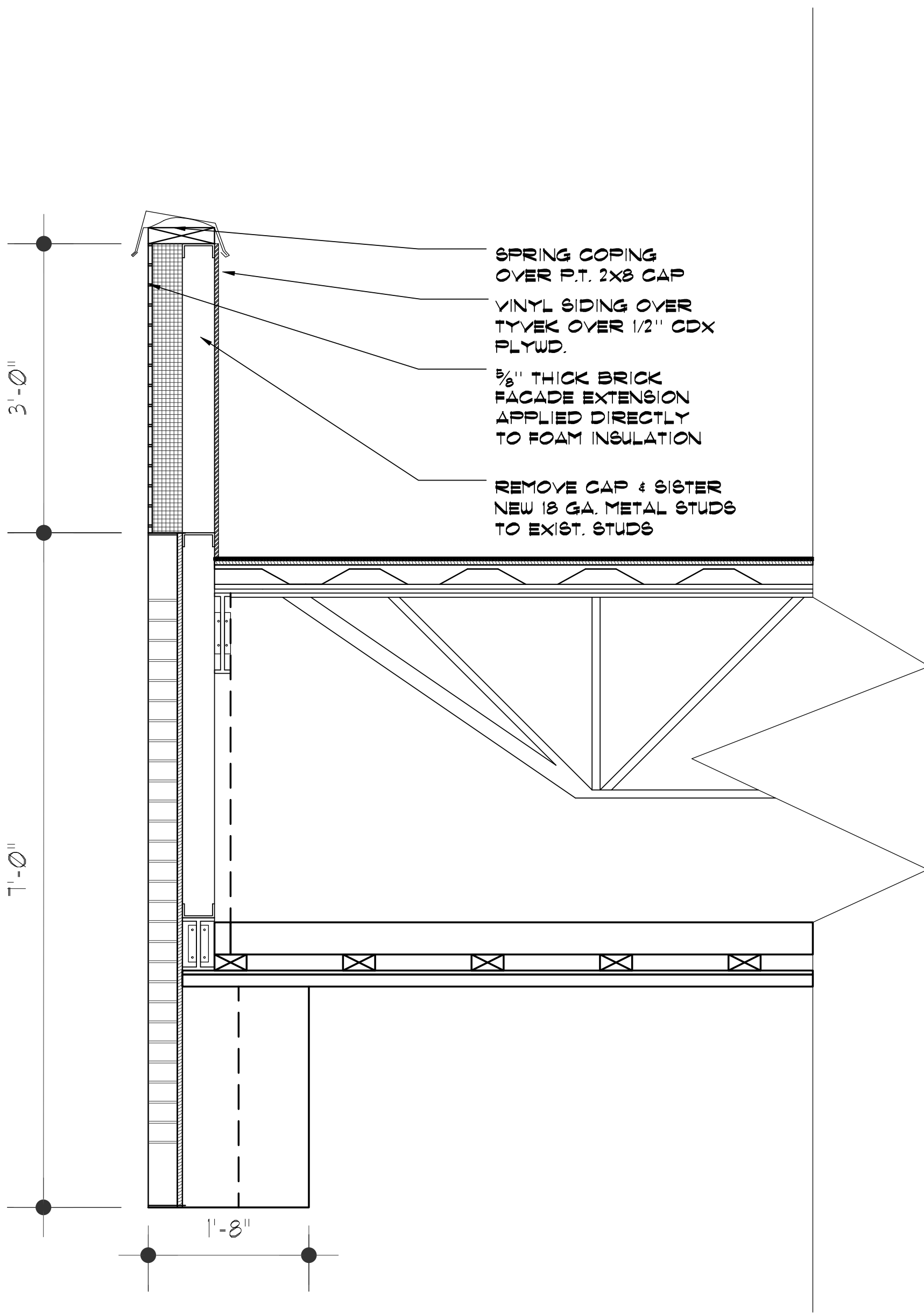
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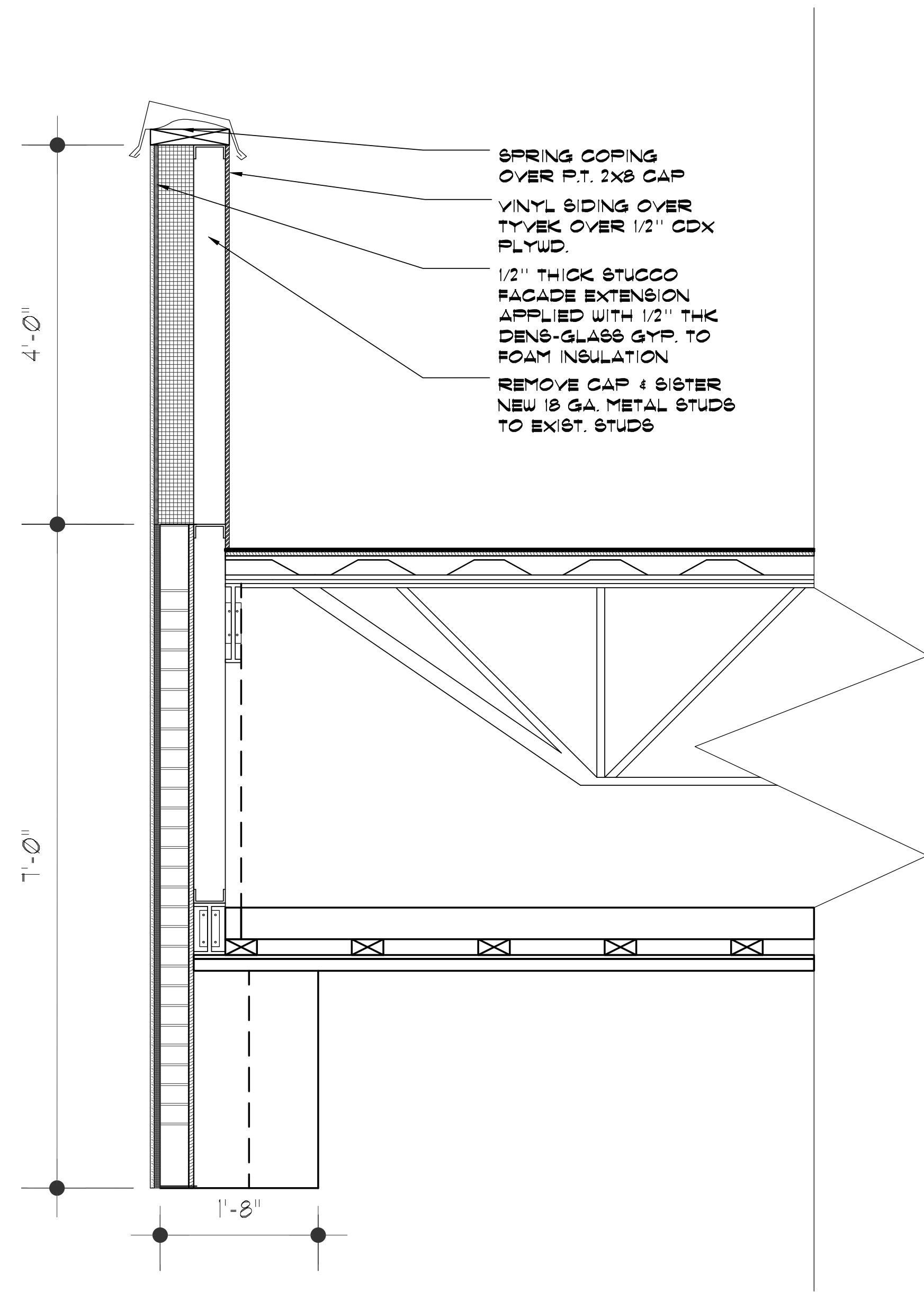
EXTENSION DETAIL - EXISTING

SCALE: 1" = 1'-0"



EXTENSION DETAIL - BRICK

SCALE: 1" = 1'-0"



EXTENSION DETAIL - EIFS

SCALE: 1" = 1'-0"

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**EXTENSION
ROOF DETAILS**

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EXTENSION ROOF DETAILS

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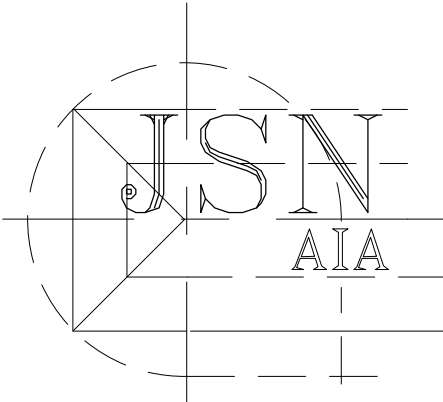
SCALE: 1" = 1'-0"



SCALE: 1-1/2" = 1'-0"



SCALE: 1-1/2" = 1'-0"



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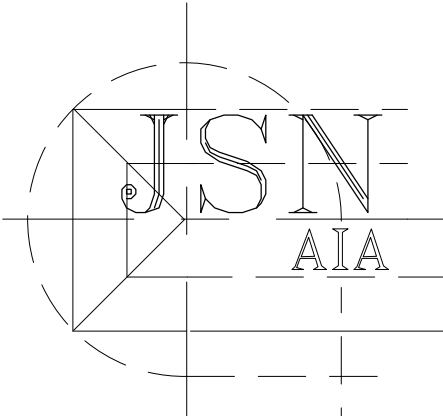
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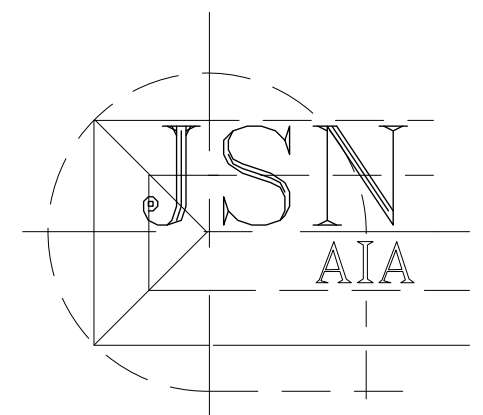
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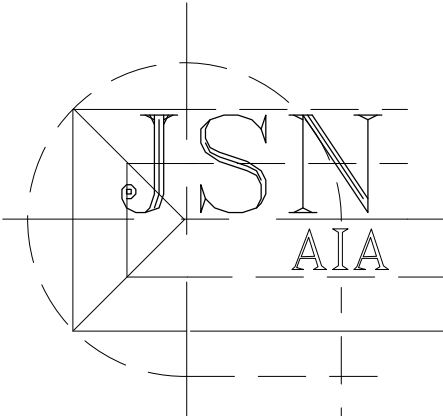
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Monthly Planning & Zoning Report

For June 2024

McKenna provides day-to-day assistance to the City, applicants, and the public regarding zoning, planning and economic development matters.

PLANNING, ZONING, DESIGN & ECONOMIC DEVELOPMENT ACTIVITY

As part of our services to the City, McKenna reviews Planning Commission applications and provides recommendations on long range planning, land use, zoning, and design. The following is a summary of active developments; **yellow highlighting indicates new updates for the month.**

PROJECT # / ADDRESS	SCOPE	STATUS / NEXT STEPS
SP21-08 34400 Utica Hockeyland Outlot SLU 24-01	Site plan approval with conditions granted on August 4, 2021.	Site plan approval extended for 12 months, August 2, 2023, subject to site plan amendment approval. Approved to apply for foundation permits. Revised site plan approved at September PC meeting. CofO contingent on satisfaction of all PC conditions of approval. Lot split application approved in October 2022. Approved to move forward with the process without finalized parking agreement. Construction underway. Planning Commission conditionally approved the site plan with amendments to the conditions regarding off-site shared parking agreements. SLU modification approved at March 6, 2024 PC Meeting. Big Boy / Hockeyland management met with City (building, planning, engineering, legal) and has submitted a plan to complete all outstanding items by September 1, 2024.
SP23-03 / ZBA23-04 32660 Utica Road Strip Mall	Site plan to convert a coin-operated car wash into a 3-unit commercial strip mall. Variance request to reduce the front setback from 70 ft to 35 ft.	Preliminary site plans reviewed. Applicant contacted for revised site plans. Variance request for front parking setback reduction granted for October 5, 2023 ZBA. Conditionally approved by Planning Commission on November 1, 2023. Final site plans approved by Planning and Zoning. Pending engineering and building review. Building Permit issued.



PROJECT # / ADDRESS	SCOPE	STATUS / NEXT STEPS
RZ23-02 32981 & 32875 Utica Road Sheetz	Conditional rezoning from CBD to CG to operate a gas station and fast food restaurant.	Public hearing at the January 3, 2024 Planning Commission Meeting. Planning Commission recommended denial of conditional rezoning to City Council at January 3, 2024 Planning Commission Meeting. Sheetz to return after conditional rezoning agreement is drafted. City Council to grant approval or denial of conditional rezoning TBD. Tentatively September.
SP 24-01 ZBA 24-03 34400 Klein Foundation Solutions 360	Site Plan amendment to remove ZBA condition and add paved parking area. Variance amendment to remove shared parking requirement. Variance request to increase parking setback nonconformity.	The site plan will be reviewed at the April 3, 2024 PC meeting. The variance requests granted at the May 2, 2024 ZBA meeting. The site plan was approved at the June 5, 2024 PC meeting. The site plan is in engineering review.
ZBA 24-01 31253 Utica Road Sunbelt Rentals	Request for front parking setback, as well as front fence setback and front setback for a storage area.	The variance request granted at the May 2, 2024 ZBA meeting. The site plan will be conditionally approved at the July 15, 2024 PC meeting. A variance will be reviewed at the August 15 ZBA meeting. This variance is part of the conditional site plan approval.
SP 23-04 34575 Commerce Road Drivergent	Request for site plan approval to store buses outdoors.	Planning Commission tabled the request at the May 1, 2024 meeting until the applicant obtains all necessary variances and provides revisions to the site plan.
SP 24-03 16000 15 Mile Road Strip Mall	Request for exterior façade modification.	For commercial districts, such as the CG District, any exterior building material that is not aesthetically pleasing brick and or stone must be approved by the Planning Commission. This application will be reviewed at the August 7, 2024 PC meeting.
ZBA 24-04 34835 Utica Road Meijer	Request for reduction of off-street parking spaces.	Public hearing for this variance request will be held on August 15, 2024. This request will be reviewed at the September 5, 2024 ZBA meeting, due to lack of applicant availability.



LOOKING FORWARD

- Sign Ordinance (Potential adoption in September)
- Full Zoning Ordinance Rewrite (End of 2025 – Early 2026)

CONTACT US

Should you have any questions on the above projects or would like additional information, please contact your City of Fraser team at:

- Lauren Sayre (lsayre@mcka.com)
- Alicia Warren (awarren@mcka.com)