



CITY MANAGER
Elaine Leven
CITY CLERK
August Gitschlag

City of Fraser

CENTENNIAL COMMUNITY

MAYOR
Michael Lesich
MAYOR PRO-TEM
Dana Sutherland
COUNCIL
Amy Baranski
Patrick O'Dell
Kenny Perry
Patrice Schornak
Sherry Stein

AGENDA
CITY OF FRASER ZONING BOARD OF APPEALS
Thursday, January 16, 2025 @ 7:00 P.M.
COUNCIL CHAMBERS, 33000 GARFIELD; FRASER, MI 48026

- 1. Call Meeting to Order**
- 2. Pledge of Allegiance**
- 3. Roll Call**
- 4. Approval of Agenda – January 16, 2025**
- 5. Approval of Minutes – December 5, 2024**
- 6. Formal Statement by Chair**
- 7. New Business of the Board**
 - a. Public Hearings – ZBA 24-08, 18377 East 14 Mile Road - Power Solutions**

To obtain a variance from Section 32-141(a) to allow the following exterior façade materials: aluminum plank system with a wood finish and ALPOLIC's aluminum composite material, where only brick or stone building materials are permitted.
 - b. Other**
 - i. Interview of Scott Wahl for ZBA Membership
 - ii. Election of Officers
 - iii. 2024 Annual Planning and Zoning Report and 2025 Work Plan

8. Old Business (Postponed Cases)

- a. ZBA 24-07 – 34625 and 34835 Utica Road, Mister Car Wash

To obtain a variance from Section 32-86(6) of the Zoning Ordinance to allow the applicant to exceed the maximum allowed footcandle illumination measurement in a commercial use.

- The proposed maximum illumination in the driveway is 21 footcandles where only 4 footcandles are permitted.
- The proposed maximum illumination for parking areas is 33 footcandles where only 4 footcandles are permitted.
- The proposed maximum illumination for walks is 33 footcandles where only 2 footcandles are permitted for walks.

9. Unfinished Business of the Board - None

10. Monthly Report

- a. December Monthly Report
b. Action items Update – none

11. Planning Commission Liaison

12. Public to be Heard

13. Adjournment.

Posted: January 6, 2025



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**CITY OF FRASER ZONING BOARD OF APPEALS
DECEMBER 5 2024 @ 7:00 P.M.
COUNCIL CHAMBERS, 33000 GARFIELD, FRASER, MI 48026
DRAFT**

1. CALL MEETING TO ORDER

A regular meeting of the City of Fraser Zoning Board of Appeals was held on Thursday, December 5, 2024 at 7:00 pm in City Council Chambers. The meeting was called to order by Chairman Farina at 7:00 p.m.

2. PLEDGE OF ALLEGIANCE

Chairman Farina led the Pledge of Allegiance.

3. ROLL CALL

PRESENT: Chimenti, Farina, Green, Menendez, Stasek
ABSENT: Burley

OTHERS: City Planner Lauren Sayre, City Attorney Alexander Hishon,
Deputy Clerk Greenia

Chair Farina noted that Board Member Burley was excused from the meeting.

4. APPROVAL OF AGENDA – December 5, 2024

Motion by Menendez supported by Stasek to approve the agenda as presented.

AYES: Chimenti, Farina, Green, Menendez, Stasek
NAYS: None

Motion Carried

5. APPROVAL OF MINUTES – November 7, 2024

Motion by Menendez supported by Green to approve the minutes of the November 7, 2024 City of Fraser Zoning Board of Appeals Meeting with the following correction on page 3, 7b under the motion area a spelling correction of Menendez name.

AYES: Chimenti, Farina, Green, Menendez, Stasek
NAYS: None

Motion Carried

6. FORMAL STATEMENT BY CHAIR

Chairman Farina gave a formal statement relative to the powers of the Zoning Board of Appeals and the facts and conditions for granting appeals.

7. NEW BUSINESS OF THE BOARD

a. Public Hearings

i. ZBA#224-07 34625 and 34835 Utica Road, Mister Car Wash

Request to obtain a variance from Section 32-86(6) of the Zoning Ordinance to allow the applicant to exceed the maximum allowed foot-candle illumination measurement in a commercial use.

The proposed maximum illumination in the driveway is 21 foot-candles
Where only 4 foot-candles are permitted.

The proposed maximum illumination for parking areas is 33 foot-candles
where only 4 foot-candles are permitted.

The proposed maximum illumination for walks is 33 foot-candles where
Only 2 foot-candles are permitted for walks.

Planner Lauren Sayre went over her review of the requested variance. She spoke to each condition that is a consideration when looking at an application to see if it meets the standards for a hardship or practical difficulty. She did not feel the applicant had proven either of those and recommended denial of the variance request to the Zoning Board of Appeals.

A lengthy discussion was had regarding a chart Planner Sayre provided to the Zoning Board of Appeals showing nearby communities' requirements for foot-candles. Where was the foot-candle measured at, was there a different number of foot-candles allowed near the property line, was this an "average" or maximum number in the Ordinance? Attorney Hishon stated he believed it was a maximum number, as he did not see anything that would make him think this was an "average" number for the property. Board Member Stasek asked if there was some type of reference point so we knew what 4 foot-candles looked like. Chris Campbell, Mister Car Wash, was present on behalf of the applicant. He brought with him a photometric plan for this site. He explained that if our Ordinance permitted him to average out the foot-candles, he would basically meet the requirements, but because our Ordinance did not allow for that, the foot-candle reading is much higher. Discussion continued on different readings on the site at different locations. He felt that if he could average the ENTIRE site he would be well under the required number of four (4).

Mr. Campbell then told the Board a bit about the company. He explained how they

have a particular system so that they can reclaim about 50% of the water. They were the largest tunnel type car wash business in the Country and recently opened up their 505th site. There were 31 of these car washes currently in the State of Michigan with 18 in development. They facilitate about 100,000,000 washes annually.

Mr. Campbell then told the Board that he had gone out to the businesses in Fraser and measured their foot-candles. He shared with the Board what his findings were and many of them were well above what our Ordinance allows. Further discussion was had on various issues about the business in general.

Chairman Farina opened the public hearing at 7:58 p.m.

There was no public that wished to speak on this matter.

Chairman Farina closed the public hearing at 7:58 p.m.

Motion by Stasek supported by Green to approve the variance granted in variance

Request **ZBA#224-07 34625 and 34835 Utica Road, Mister Car Wash**

Request to obtain a variance from Section 32-86(6) of the Zoning Ordinance to allow the applicant to exceed the maximum allowed foot-candle illumination measurement in a commercial use.

The proposed maximum illumination in the driveway is 21 foot-candles
Where only 4 foot-candles are permitted.

The proposed maximum illumination for parking areas is 33 foot-candles
where only 4 foot-candles are permitted.

The proposed maximum illumination for walks is 33 foot-candles where
Only 2 foot-candles are permitted for walks.

Based on the fact that the applicant has stated that the hardships are safety related and that they need to have illuminated areas in the drive and vacuum because customers will be busy in their cars and other drivers in the vicinity need to have a good line of sight on people who are moving in and around their vehicles and other businesses in the area enjoy a similar benefit in their lighting areas.

Discussion was had on the motion regarding how it met the criteria to grant a variance.

Planner Sayre interjected that at this time the applicant has indicated he would like to wait until there is a full Board to decide on this matter. Board members then stated their feelings on the matter. Chairman Farina and Member Chimenti indicated they would be voting no on this question, Members Stasak and Green indicated they would be in favor of granting this variance. Menendez stated she would have voted "no" but after the presentation by the applicant and further discussion during the meeting, she stated she would vote "yes".

Motion by Stasek, supported by Green to approve ZBA#224-07 34625 and 34835 Utica Road, Mister Car Wash

AYES: Green, Menendez, Stasek

NAYS: Chimenti, Farina

Motion Carried

8. OTHER

a. 2025 Monthly Meeting Calendar

Discussion was had on the proposed 2025 monthly meeting calendar.

Motion by Menendez supported by Stasek to approve the regular Zoning Board of Appeals meeting calendar for 2025 with the exception of January 2nd amend that to January 16, 2025 And July 3 amend that to July 17, 2025 with the rest of the dates remaining as presented.

January 16, 2024	February 6, 2025	March 6, 2025
April 3, 2025	May 1, 2025	June 5, 2025
Jul 17, 2025	August 7, 2025	September 4, 2025
October 2, 2025	November 6, 2025	December 4, 2025

AYES: Chimenti, Farina, Green, Menendez, Stasek

NAYS: None

Motion Carried

9. OLD BUSINESS (Postponed Cases)

Nothing at this time.

10. UNFINISHED BUSINESS OF THE BOARD

Nothing at this time.

11. MONTHLY REPORT

a. November Monthly Reports

Planner Sayre provided an update on activity for the month of November.

b. Action Items Update

None at this time.

12. PLANNING COMMISSION LIAISON REPORT

Chair Farina reviewed the Planning Commission meeting of December 4, 2024 and the actions they took.

13. PUBLIC TO BE HEARD

None at this time.

14. ADJOURNMENT

Motion by Menendez supported by Green to adjourn at 8:29 p.m.

All Ayes

Motion Carried

Respectfully Submitted:

Cindi Greenia, Deputy Clerk
City of Fraser



December 31, 2024

Hon. Members of the Zoning Board of Appeals
City of Fraser
33000 Garfield Road
Fraser, Michigan 48026

**SUBJECT: ZBA REPORT #1
#24-08 VARIANCE REQUEST / POWER SOULUTIONS**

APPLICANT: ROBERT DOAN, D6 PROPERTIES, INC.

**SECTION: SECTION 32-141(a) – PROVISIONS RELATING TO PERMITTED EXTERIOR FAÇADE
MATERIALS IN INDUSTRIAL DISTRICTS.**

LOCATION: 18377 E 14 MILE ROAD, FRASR, MICHIGAN 48026

**REQUEST: TO OBTAIN A VARIANCE FROM ZONING ORDINANCE STANDARDS TO ALLOW THE
FOLLOWING EXTERIOR FAÇADE MATERIALS: ALUMINUM PLANK SYSTEM WITH A
WOOD FINISH AND ALPOLIC'S ALUMINUM COMPOSITE MATERIAL, WHERE ONLY BRICK
OR STONE BUILDING MATERIALS ARE PERMITTED.**

Dear Members of the Zoning Board of Appeals:

We have reviewed the above referenced application for façade modifications to a building within the IR District, and – as it does not meet the requirements of the code – have prepared the following report, which identifies the relevant facts about the property and the proposal. The report also provides our professional opinion about how the relevant sections of the ordinance that guide the ZBA's decisions apply to this requested variance.



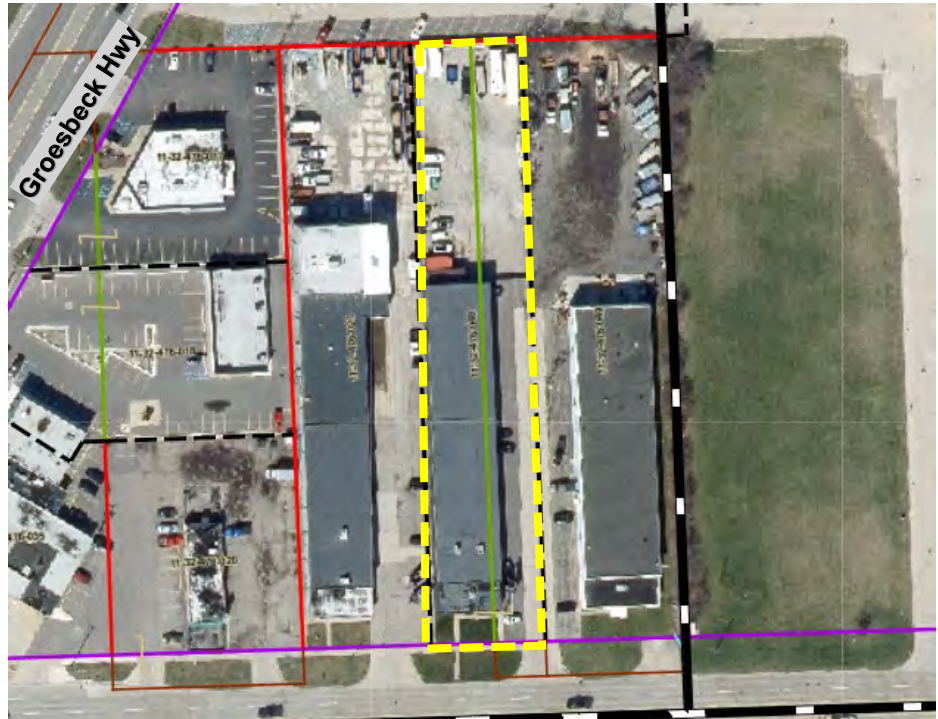
ADMINISTRATIVE STATEMENT OF FACTS

18377 14 Mile Road is currently zoned IR, Industrial Restricted. The site is occupied by Power Solutions Group, Inc., an electrical installation servicer. The applicant submitted a site plan request to modify the exterior building façade material.

Section 31-141(a): *Exterior facing materials:* The exterior of all building's hereafter erected shall be constructed of aesthetically pleasing brick and/or stone building materials.

The architecture and approved exterior finish of any building shall be of uniform finish on all sides of its exterior when the site is adjacent to any non-industrial district. Within the industrial districts, the architecture and approved street side(s) exterior finish shall be returned on the building side(s) equal to the office depth or fifty (50) feet, whichever is greater.

The applicant is requesting an aluminum plank system with a wood finish and alpolic's aluminum composite material, where only brick or stone building materials are permitted.



IMAGES ARE FOR CONCEPTUAL PURPOSES ONLY. NOT TO BE USED FOR CONSTRUCTION.

Proposed façade submitted by applicant.



ZONING BOARD OF APPEALS VARIANCES AND BOARD ACTION RESTRICTIONS

The ZBA is a body of limited powers. §32-228 explains how Fraser administers variance requests. Where there are practical difficulties or unnecessary hardships in the way of strict enforcement of the zoning ordinance, the ZBA may grant appeals to vary or modify any zoning provisions that apply to dimensional standards like construction, structural changes in equipment, or alteration of buildings or structures. The ZBA's actions must uphold the zoning ordinance, secure public safety, and provide substantial justice for all property owners.

Since the variance requested is to use the property in a way that is not allowed by zoning, the ZBA must consider whether substantial evidence of an unnecessary hardship is imposed by the Ordinance. General standards for the establishment of an unnecessary hardship include that the property cannot reasonably be used in a manner consistent with existing zoning, that the situation is due to unique circumstances and not to general conditions in the neighborhood, that the proposed use will not alter the essential character of a locality, and the hardship is not the result of the applicant's actions.

As described in §32-228(a)(2), the ZBA must find evidence of evidence that:

- all the facts and conditions of a. thru d. exists,
- or e. or f. exists independently,

to grant a variance.

Our comments related to the proposal follow each clause in **bold**. Because the outdoor storage of loose gravel was a use variance, it will need 5 board members (2/3 of the Board) in order to approve the modification.

- a. *That there are exceptional or extraordinary circumstances or conditions applying to the property in question or as to the intended use of the property that do not apply generally to other properties in the same zoning district.*

We are not aware of exceptional or extraordinary circumstances applying to the property in question, besides it being situated on a main road, nor was any submitted with the application.

- b. *That such variance is necessary for the preservation and enjoyment of a substantial property right like that possessed by other properties in the same vicinity. The possibility of increased financial return shall not of itself be deemed enough to warrant a variance.*

The applicant states that the façade is in need of repair. The applicant is proposing material that is durable and appealing to the community and complement the surrounding buildings.

- c. *That the authorizing of such variance will not be of substantial detriment to adjacent property and will not materially impair the intent and purpose of this chapter or the public interest.*

We do not believe that granting the variance will cause substantial detriment to adjacent properties or cause detriment to public interest or the intent of the Zoning Ordinance.

- d. *The authorizing of such variances will likely not be of substantial detriment to adjacent properties. Specifically, the Zoning Board of Appeals may consider light and visual impacts of the subject proposal.*

It is not likely that granting the variance would cause substantial detriment to adjacent properties, as the proposed use is updating the exterior finishes of an existing building.

- e. *That the conditions or situation of the specific piece of property, or the intended use of the property for which the variance is sought, is not of so general or recurrent in nature as to create a general rule for such condition or situation.*



Surrounding properties within the City of Fraser limits do not appear to have been granted similar rights as the applicant is requesting. By granting these variances to the applicant, it is possible other similar businesses in the general vicinity may request the same exceptions. It is not likely that these exceptions would become a general rule, but this case could be utilized as a precedent for future decisions.

OR

- f. *That the modification to setback, location, site or building requirements is sponsored by the Planning Commission for a specific proposal that benefits the City by providing better design or efficient use of the site or results in a more creative development (all fees to be paid by the applicant).*

Not applicable.

OR

- g. *That phasing of required site plan improvements may be warranted because the cost of such improvements is relatively high in relation to the total cost of the applicant's development or addition. Planning Commission recommendations shall be required, together with a financial security in the amount of the deferred improvements.*

Not applicable.

CONCLUSION

We recommend the ZBA consider the variance request as the applicant has met the Ordinance standards for obtaining a variance.

Additional information brought forward by the Board, the applicant, and/ or during the public hearing should be incorporated into the record prior to the Board making any determination.

Please let me know if you have any questions.

Respectfully Submitted,

McKenna

Alicia Warren
Associate Planner

Lauren Sayre, AICP
Senior Planner

cc: Applicant
City Manager
Building Official
City Attorneys



City of Fraser

Building & Code Enforcement Department

NOTICE OF ZONING BOARD OF APPEALS HEARING

NOTICE IS HEREBY GIVEN that the City of Fraser Zoning Board of Appeals will meet on **Thursday, January 16, 2024**, at 7:00 p.m. in the Fraser City Hall Council Chambers at 33000 Garfield Road, located at the southeast corner of Fourteen Mile and Garfield Roads, Fraser, Michigan for the purpose of conducting a Public Hearing and making a decision on the following request:

APPEAL #24-08:

VARIANCE REQUEST / POWER SOLUTIONS

BY REASON OF:

SECTION 32-141(a) – PROVISIONS RELATING TO PERMITTED EXTERIOR FAÇADE MATERIALS IN INDUSTRIAL DISTRICTS.

PURPOSE OF REQUEST:

TO OBTAIN A VARIANCE FROM ZONING ORDINANCE STANDARDS TO ALLOW THE FOLLOWING EXTERIOR FAÇADE MATERIALS: ALUMINUM PLANK SYSTEM WITH A WOOD FINISH AND ALPOLIC'S ALUMINUM COMPOSITE MATERIAL, WHERE ONLY BRICK OR STONE BUILDING MATERIALS ARE PERMITTED.

PROPERTY IN QUESTION:

18377 E 14 MILE ROAD, FRASER MICHIGAN, 48026

NOTICE IS FURTHER GIVEN that any interested person may appear and comment upon the proposed request in person, or by agent or attorney during the public hearing to be held on the date and time of the meeting. Pertinent information relating to the application may be reviewed at the Fraser Building Department during regular business hours which are 8:00 a.m. to 4:30 p.m., Monday through Friday at the Fraser City Hall, 33000 Garfield Road, Fraser, Michigan. Questions regarding the requested variance can be directed to the Planner, c/o Building Department at 586-293-3100. Written comments may be submitted to the Fraser Building Department at 33000 Garfield Road, Fraser, Michigan 48026, or email to the Building Department at zoning@micityoffraser.com up to 4:30 p.m. of the meeting date.

The City of Fraser will provide necessary, reasonable auxiliary aids and services to individuals with disabilities at the meeting upon four (4) days' notice to the Building Department at the phone number set forth above.



CITY OF FRASER
APPLICATION FOR APPEAL
ZONING BOARD OF APPEALS

Office Use Only

APPEAL # _____
DATE OF MTG. _____
DATE REC'D _____
RECEIPT #: _____

CIRCLE ALL THAT APPLY:

VARIANCE

APPEAL

TEMPORARY

INTERPRETATION

GENERAL LOCATION OF PROPERTY:

ADDRESS 18377 E 14 Mile Rd. Fraser, MI 48026 CROSS STREETS: E 14 Mile Rd. & Groesbeck Hwy.

LEGAL DESCRIPTION (Lot number, subdivision, metes/bounds or attach on a separate sheet):

Parcel number 03-11-32-476-048

BASIS FOR REQUEST: (Hardship or practical difficulty imposed by Ordinance):

Code referenced in Sec. 32-141. Existing facade conditions and some surrounding infrastructure do not meet code requirement - our proposed facade complements

existing conditions while considering the City of Fraser 2021 Master Plan. See attached letter and supplemental documents for additional information.

SECTION OR ORDINANCE INVOLVED: Building Code & Zoning Ordinance

ZONING DISTRICT OF PROPERTY: IR - Industrial - Restricted, future General Commercial in City of Fraser 2021 Master Plan

APPLICANT

NAME AND ADDRESSES OF PARTIES OF INTEREST AND/OR APPLICANT SETTING FORTH THE LEGAL INTEREST IN SAID PREMISES:

APPLICANT: Robert Down - D6 Properties Inc

ADDRESS: 18377 E 14 Mile Rd, Fraser MI 48026

PHONE: 586-601-8668 INTEREST: _____

APPLICANT: Power Solutions Group Inc

ADDRESS: 18377 E 14 Mile Rd, Fraser MI 48026

I (We) hereby request a hearing on the above-mentioned matter before the City of Fraser Zoning board of Appeals. The undersigned swear(s) the foregoing statements and answers herein contained and accompanied information and data are in all respects true and complete. I (we) grant permission to Members of the Zoning Board of Appeals and to the City of Fraser Administration to enter the land in order to view the outside premises in preparation for hearing our case.

Signature of Applicant: _____ Date: 12/13/24

Signature of legal property owner (if not applicant): Rob Date: _____

Date: December 12, 2024

To: Zoning Board of Appeals Members

Re: Power Solutions
18377 E 14 Mile Rd., Fraser, MI 48026
Request for Variance

To whom it may concern,

We were instructed to apply for variance based on this code of appeals. We request to revise the existing façade of 18377 E 14 Mile Road, Fraser, MI 48026. Our request is to utilize the existing brick façade and add an entry portal that incorporates an aluminum plank system that has a wood finish. We are also requesting for the current corrugated metal panel to be replaced with ALPOLIC's aluminum composite material, wrapping on part of the side façades. We believe this façade provides a more holistic, attractive, and durable design that is complementary to existing conditions and the surrounding context while also honoring future plans for the site in the City of Fraser 2021 Master Plan.

In looking at Sec. 32-37 – Brick requirements and alteration limitations, it can be noted that “All building elevations facing onto a street ... shall have exterior surface consisting of face brick or other similar decorative material as approved by the planning commission. All buildings, except single-family residences and industrial buildings in the IR and IC districts, shall also be governed by the following: ...

(2) All plans for the reconstruction, remodeling, alteration, painting/repainting, or any other changes in the exterior or appearance of any such building or structure front or fronts, including awnings and canopies, shall require planning commission approval when referred by the building official.”

We are proposing elements we feel can be classified into the “other similar decorative building material” per code language. The darker tone of the aluminum composite material proposed will complement the existing brick color on the front portion of the building. Incorporating an entry portal with a wood textured aluminum plank system will add an element of warmth to the façade tonally, a nod to the adjacent building's (18503 E 14 Mile Road, Fraser, MI 48026) warmer tone brick façade. The materials proposed are similar to the palette of the surrounding context. If needed, we are willing to seek planning commission approval.

The code referenced is Sec. 32-141. – Provisions applicable to Industrial Districts (a)Exterior facing materials. As noted in this section, “The exterior of all buildings hereafter erected shall be constructed of aesthetically pleasing brick and/or stone building materials. The architecture and approved exterior finish of any building shall be of uniform finish on all sides of its exterior when the site is adjacent to any non-industrial district. Within the industrial districts, the architecture and approved street side(s) exterior finish shall be returned on the building side(s) equal to the office depth or fifty (50) feet, whichever is greater.” The existing front façade is comprised of about two-thirds brick with a corrugated metal panel on the remaining upper one-third. It is our understanding that the corrugated metal condition has been present on this building's façade since no later than October 2008. Having underwent multiple changes in ownership – as observed through Google Maps history – from Henderson Glass in 2008, Rapid Recovery Service in 2012, and currently Power Solutions in 2024, the corrugated metal panel has been present throughout. It can be noted that the existing corrugated metal panel system has been weathered and needs improvement aesthetically, solidifying the reasoning for removing the existing corrugated metal

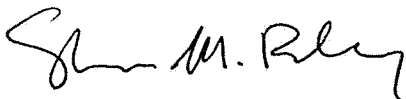
and adding aluminum composite material to it. Our proposal intends to maintain the existing intersection of brick and metal, with the bottom two-thirds of the façade being the existing brick to remain and incorporating a new aluminum composite material (ACM) to take the place of the existing metal panel and for the paneling to continue on the sides of the façade to frame the front portion of the existing building, thus contributing to a more holistic design. Aside from aesthetic improvements, the ACM complements the City of Fraser 2021 Master Plan (pg. 124) in that the proposed painted ACM product contains a high recycle content as outlined in ALPOLIC's LEED Contribution Data Sheet attached to this letter. In addition the proposed Aluminum Plank system by Longboard is 100% recyclable, as noted on their product specification attached to this letter. Material specifications can be found in the PDF attached highlighted on A4.1.

Looking further at the City of Fraser 2021 Master Plan Future Land Use Map on page 51, the current Industrial site we are looking at will become General Commercial in the Flex Corridor District. Under Section 4 Implementing Viable Change Implementation Plan for Commercial and Economic Development (pg. 132), it is Priority A – the highest priority – to “Ensure each development and redevelopment project outlines the inclusion of high-quality and durable construction materials along with visually appealing site design.” Having addressed the implementation of high-quality materials, a pivot toward aesthetics can be taken. The proposed façade renovations in addition to the site improvements with the landscape additions complement the Master Plan and the surrounding infrastructure. The façade of 18357 E 14 Mile Road, Fraser, MI 48026 was renovated in 2017 – as seen in Google Maps history – incorporating materials other than brick and/or stone and adding to the overall visual improvement of the area. This façade improvement does the same, in that it complements the surrounding existing façade improvements being made by adding visual interest in a respectful and mindful manner. Being on a main thoroughfare and proposed bike lane road, this façade improvement will gain the attention of those passing by whether in a vehicle, on a bike, or on foot, welcoming more customers into the space and contributing to a stronger local economy. The façade of 33105 Kelly Road, Fraser, MI 48026 updated their façade in 2017, staining the existing masonry to match the existing metal panels. Our design reflects similar intentions in that the materials we are incorporating will complement the existing color palette of the existing building and surrounding.

LED lights are utilized in this design, complying with Priority A of Sustainability and Beautification to “Always encourage sustainability elements with each new development and redevelopment project in the City. These can include ... native plantings, ... LED lighting and other elements described in this Plan” (pg. 135). Lighting information of this façade can be found in the PDF attached highlighted on A1.1.

To conclude, we believe that our proposed façade renovations will positively impact and complement the existing requirements in addition to those noted in the City of Fraser 2021 Master Plan. We feel that the design honors existing site conditions and the surrounding context, further activating the corridor and adding an aesthetic, well-rounded, and sustainable element to the site.

Thank you,



Shane M. Burley, AIA, NCARB
Partner / Principal
Studio Detroit, LLC



November, 2008



October, 2009



August, 2012



July, 2015



August, 2017



September, 2018



August, 2019



November, 2020



October, 2021

Google Map History Images | 33105 Kelly Road



November, 2008



October, 2009



August, 2012



July, 2015



August, 2017



September, 2018



August, 2019



November, 2020



October, 2021

Existing/Proposed Reference



Existing



Proposed

Construction Techniques

The United States Green Building Council's Leadership in Energy and Environmental Design (LEED) program certifies new construction and renovations as environmentally sustainable. The organization uses checklists of building techniques to grade construction projects and assign "Silver," "Gold," or "Platinum" designations to them.

The City of Fraser is well-positioned to attract developments looking to attain LEED status, by promoting sustainable design elements such as bike racks, sidewalks, reduced parking, and more.

The table below lists a variety of construction materials, designs, and techniques that can reduce a community's environmental impact and improve its sustainability for the future. Some are expensive and technical, while others are simple, easy, and cost little-to-nothing. Picking just a few of the most feasible for a project can go a long way in reducing the project's environmental impact. Further, some techniques can be implemented inexpensively by homeowners if they are given the tools to execute them.

Site Design

- Minimize Disturbed Area
- Maximize Permeable Surface
- Stormwater Management
- Density of Development

Landscaping

- Plant Trees
- Maximize Permeable Surface
- Green Roof

Water

- Rainwater Harvesting
- Stormwater Management
- "Graywater" Re-Use
- High-Efficiency Fixtures

Energy/HVAC

- Energy-Efficient Appliances
- Efficient Hot Water Distribution
- Pipe Insulation
- Combustion Venting
- Moisture Control
- Room-by-Room Controls
- Enhanced Insulation
- South-Facing Windows
- Solar Panels
- Geothermal Energy

Building Materials

- Recycled Materials
- Efficient Construction Management (reduce over-ordering)
- Environmentally-safe Materials
- On-Site Waste Reduction

Commercial and Economic Development

Project	Priority	Timeframe	Responsibility			Funding		
			City	Other Gov't	Private	Public	Private	DDA/TIF
Continue to foster and maintain relationships with local business owners on a Citywide scale by means such as supporting any business efforts to grow with changing trends in shopping, dining, and working.	A	1	CC PC CS		BO	●		
Continue to support the City's long-standing industrial presence.	A	1	CC PC CS		BO	●		
Retrofit, support, and encourage flexible commercial and light industrial uses along major road corridors, as defined by the Future Land Use Plan.	A	1	CC PC CS		DEV	●	●	
Ensure each development and redevelopment project outlines the inclusion of high-quality and durable construction materials along with visually appealing site design.	A	1	CC PC CS		DEV	●	●	
Continue to maintain relationships with regional economic development agencies to determine site-specific development or redevelopment projects and identify programs to assist and support new growth and development as applicable.	B	2	CC PC CS	MEDC MC		●		
Retrofit underutilized parking areas to support new development.	B	2	CC PC CS		DEV	●	●	
Ensure that commercial land uses are not over-allocated in the City.	B	2	CC PC CS			●		
Identify the gaps in the City's commercial or industrial market.	C	3	CC PC CS	MEDC MC	DEV	●		
Regularly monitor market trends and amend the City's Zoning Ordinance as needed to accommodate lot size and building envelope requirements.	C	3	PC CS			●		

Quick Reference Key

BO	Business Owners	MC	Macomb County
CC	City Council	MEDC	Michigan Economic Development Corp.
CS	City Staff	PC	Planning Commission
DEV	Developers		

Sustainability and Beautification

Project	Priority	Timeframe	Responsibility			Funding		
			City	Other Gov't	Private	Public	Private	DDA/TIF
Rewrite the City's Sign Ordinance to remove obsolete standards, limit visual clutter, and consider a sign licensing component for stronger enforcement of up-to-date signage.			CC PC			●		
Upkeep and maintain the City's records on property landscaping, signage, lighting, and/or nuisance violations.	A	1	CC PC CS DDA		BO CM LL	●		●
Ensure that newly proposed development, or renovations to existing developments are compliant with the City's landscaping and screening ordinances and promote high-quality landscaping in the City.	A	1	CC PC CS		DEV	●		
Always encourage sustainability elements with each new development and redevelopment project in the City. These can include renewable energy resources, native plantings, stormwater management best practices, LED lighting and other elements described in this Plan.	A	1	CC PC CS		DEV	●		
Seek out local artists, or partner with schools, to plan public art displays, especially wall murals and seasonal displays in appropriate areas within the CBD Core.	C	3	CS		BO CM	●		
Create a robust wayfinding signage system to direct visitors to popular community destinations within the CBD Core, when applicable.	C	3	CC PC CS DDA			●		●
Develop well-landscaped and well-maintained City gateways as appropriate.	C	3	PC CS DDA			●		●
Target key corridors, such as those heavily traveled in the City, for beautification enhancements such as street trees, roadside landscaping, and other elements.	C	3	PC CS			●		

Quick Reference Key

BO Business Owners
 CC City Council
 CM Community Members
 CS City Staff

DDA Downtown Development Authority
 DEV Developers
 LL Landlords
 PC Planning Commission

ALPOLIC

LEED CONTRIBUTION DATA SHEET

The following has been developed to provide the information needed by the LEED project team for the determination of the contribution of the ALPOLIC ACM sheets towards specific LEED New Construction and Major Renovation points. In the event further information is required, contact ALPOLIC.

ALPOLIC Painted Aluminum Composite Materials Fire Retardant and Polyethylene Core

Indoor Environmental Quality

All coatings applied to the ALPOLIC Painted ACM sheets are factory applied using a coating line with an in line regenerative thermal oxidizer, which eliminates the release of the VOC content of the coating. By factory applying the coatings, the need for field painting and the accompanying VOCs are eliminated.

Innovation in Design

The high recycle content of ALPOLIC Painted ACM sheets can support the projects exceeding the recycle content required, thereby qualifying for an Innovation in Design credit. ALPOLIC Painted ACM panels also provide a highly durable and long life time cladding option.

Building Product Disclaimer

Environmental Product Declaration (EPD) and Product Transparency Declaration (PTD) reports are available for download from our website, www.alpolic-americas.com.

Materials and Resources

The recycle content is determined as the sum of the post consumer recycled content plus one half of the pre consumer recycle content. For material assemblies, such as cladding systems, the recycled content value shall be determined by weight.

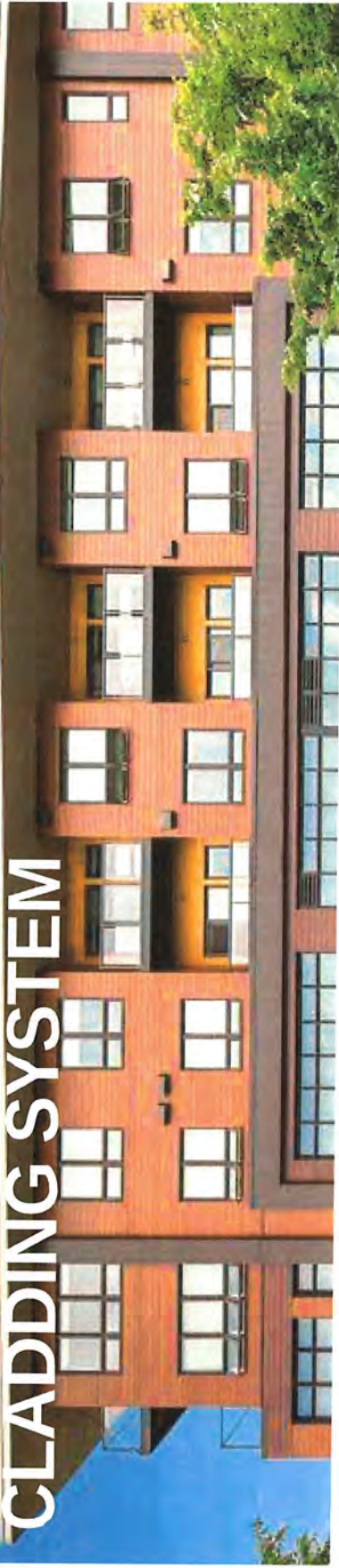


	% weight of panel	% Post Consumer Recycle Content	% Pre Consumer Recycle Content	Total = 100% Post Consumer + 50% Pre Consumer Recycle Content
4 mm ACM fr				
Aluminum Skins	35.4	12.5	64.2	44.6
fr Core	64.6	0	0	0
4 mm Panel	100	4.4	22.7	15.76
6 mm ACM fr				
Aluminum Skins	24.8	12.5	64.2	44.6
fr Core	75.2	0	0	0
6 mm Panel	100	3.1	15.9	11.1
3 mm ACM PE				
Aluminum Skins	59.5	12.5	64.2	44.6
PE Core	40.5	0	50	25
3 mm Panel	100	7.4	58.4	36.6
4 mm ACM PE				
Aluminum Skins	49.5	12.5	64.2	44.6
PE Core	50.5	0	50	25
4 mm Panel	100	6.2	57.0	34.7
6 mm ACM PE				
Aluminum Skins	37	12.5	64.2	44.6
PE Core	63	0	50	25
6 mm Panel	100	4.6	55.25	32.2
Pattern Series				
4 mm ACM fr				
Aluminum Skins	35.4	52	39	71.5
fr Core	64.6	0	0	0
4 mm Panel	100	18.4	13.8	25.3

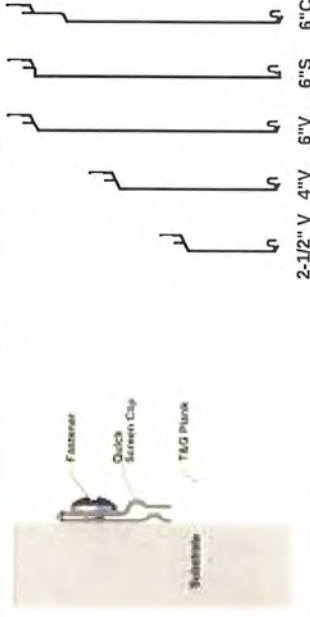
Note: The total recycle content of the panels should be combined with the other components of the cladding system to determine the contribution of the wall cladding to the overall project point qualification.

The ALPOLIC painted series ACM sheets are produced from several different materials such as aluminum coil, polyethylene, coatings, and protective film. Due to the nature of these materials, specifically their high recycle content, it is not possible to identify and quantify the initial extraction location or all of the subsequent processing points. For this reason, it is recommended that ALPOLIC painted series ACM not be included in the calculations for local content credit.

TONGUE & GROOVE CLADDING SYSTEM



TYPICAL ISOMETRIC



PROFILES

V-Groove: 2-1/2", 4", 6"
Smooth: 6"
Channel: 6"
Standard Lengths: 24', 2-1/2'(12')
98 SQ FT/box

COMPONENTS - Standard Lengths: 12'

Traditional: Starter Strip, Back-to Back Starter Strip, 2" Corner Set, 1-3/8" Two Piece J-Track, 1-3/8" Termination Set, Compression Joint (24'), 1-1/2" Flat Reveal Set, 1-1/2" U-Reveal Set, 1-1/2" T&G U-Reveal, 2" Offset Flat Reveal

Craftsman: 7/8" J-Track, 3/4" Inside Corner, 1" Outside Corner, 3/4" U-Reveal Set, 3/4" T&G U-Reveal

Precision: 5/8" Starter J-Track, 3/16" Outside Corner, 5/8" J-Track, 5/8" Two Piece J-Track, 5/8" Termination Set, 1/2" Flat Reveal, 1/2" T&G Flat Reveal

T&G_US_RE_V7

FINISHES

Woodgrains, solid color, naturally aged metal, custom solid color matching (additional lead times apply)

ATTACHMENT

Planks: Quick-screen clips w. #10 Pan Head screws* @ 32" o.c. (standard).
Quick-screen clips included: 135 pcs/4" box, 90 pcs/6" box.
Trims: hard fasten w. #10 Pan Head screws* @ 16" o.c. *Screws not included.

BIM & CAD

RVT & DWG files available, see website for details

LEAD TIME

Most Popular Finishes
-ready to ship within 1 week
Additional Finishes
-ready to ship within 14 weeks

TECHNICAL SPECIFICATIONS

PHYSICAL DATA

6063-T5 Extruded Aluminum

100% Recyclable

Warranty: Finish: 15 year (standard)/20 year* (ultra) (*10 week lead time)

Aluminum: 50 year

Weight (lbs/sqft): ~1.5

TESTING

ICC-ESR 4182 Evaluation Report - Division: 07 00 00 Thermal and Moisture Protection Section: 07 46 00 - Siding

AAMA 509 Rainscreen: W1, V2

LABR - Los Angeles Department of Building Safety (LABBS) accepts ICC-ES reports as proof of compliance

Florida Product Code: FL41934

Miami Dade, Florida, Notice of Acceptance(NOAA): NOAA No. 22-0209.01

-Expiration Date: January 26, 2028

Impact testing: TAS 201

WUI (The Wildland-Urban Interface) - California Department of Forestry & Fire Protection Office of the State Fire Marshal Listing No. 8140-22860500



Fire Rating: Class A Non-Combustible by ASTM E136 & ASTM E84 ; A2-s1,d0 by EN 13501-1



Light Reflectance: 5% (Black) up to 73.2% (Ultra White)



Wind load: Up to 121 psf (5794 Pa) TAS 202, TAS 203

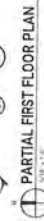


info@longboardproducts.com

longboardproducts.com

800 604 0343

LIGHTING FIXTURE SCHEDULE	
100	WALL MOUNTED EXTERIOR SIGN, 18 INCHES HIGH BY 6 FEET
101	EXISTING TRIANGLE VLT SIGN

[illegible]

67. EXTENDING LOG AREA TO HORIZON
68. AVERAGE OF LOG AREA TO HORIZON (Q100) - (Q100 LOG) / (LOGATION VALUE)
69. EXTENDING DISCREPANT TO ZERO

3. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADING PARTIES, DATA, AND I/O, UTILITIES, ETC. - ALL I/O, UTILITIES, DATA - RECEIVE INFORMATION FROM ALL TRADING PARTIES. ALL INFORMATION MUST BE RECEIVED BY 10:00 A.M.
4. ELECTRICAL CONTRACTOR TO VERIFY CLARITY AND LOGIC OF ALL EXISTING AND PROPOSED TO BE RE-EVALUATED
5. AFTER RE-EVALUATING, RE-EVALUATED PLAN TO LOCATE / LAYOUT AND LOGIC

60. ☐ **ANALYZE** ANALYZE: TO MAKE SYSTEM TO BE ANALYZED
61. ☐ **ANYTHING** ANYTHING: THINGS ARE TO BE ANALYZED
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100. ☐ **ANY** ANY: ANYTHING

1. **CONTRACTING**—The contract is a written agreement between the contractor and the client, detailing the scope of work, the timeline, and the payment terms. It is a legal document that binds both parties to the terms and conditions outlined within it.

C1 Confined fire, one chow to isolate
 C2 Heating, ventilation, and exhaust fan
 C3 Existing collective risk and management to change to reduce
 C4 New without any change, could not maintain, possibly not safe
 C5 Not tested
 C6 Confined fire, secondary fire spread
 C7 Confined fire, to isolate
 C8 Confined fire to isolate

- | | | |
|-----|---|--|
| 1 | WATER TIGHTNESS GUAR. | |
| 2 | WATER PENETRATION TO REMAIN. CO. TO VERIFY CONDITIONS AND COORDINATE W/ | |
| 3 | ADJACENT AREAS. | |
| 4 | TESTING/INSPECTION TO VERIFY SLAB IS Airtight | |
| 5 | VERIFYING/INSPECTION TO REMAIN | |
| 6 | VERIFYING/INSPECTION TO REMAIN | |
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| 100 | VERIFYING/INSPECTION TO REMAIN | |

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© 2024 STUDIO DETROIT LLC

CLIENT

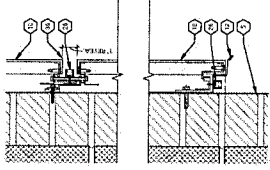
ERIN DOAN
CHIEF INNOVATION OFFICER
18377 E. 14 MILE RD
FRASER, MI 48026
517.944.1584

**POWER SOLUTIONS
FACADE RENOVATION**
18377 E 14 MILE RD
FARMER, MI 48326

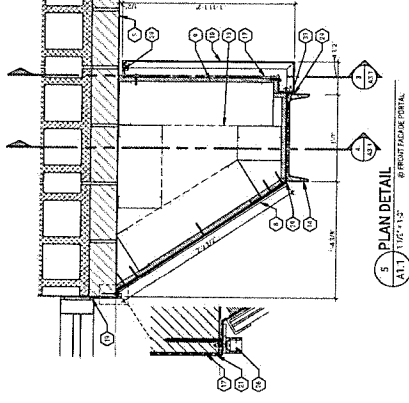
PROJECT NO. 24036

WALL
SECTIONS/DETAILS
DETAILS

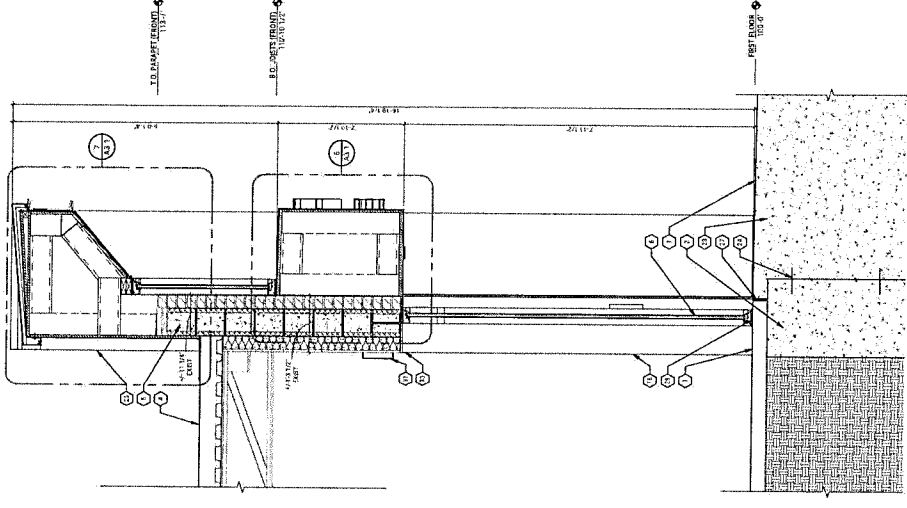
A3.1



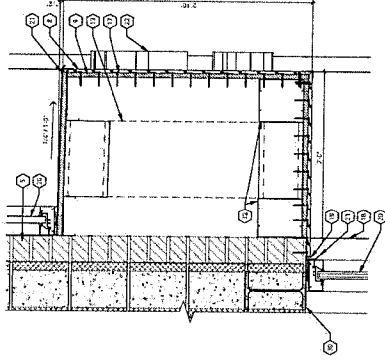
B SECTION DETAIL



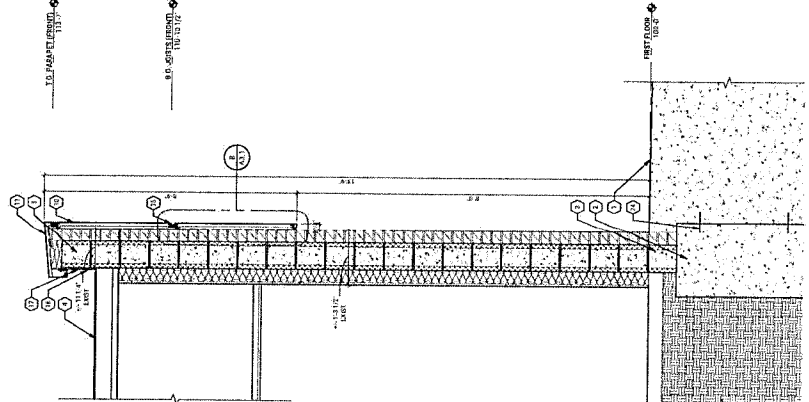
5 PLAN DETAIL
A1.1 1 1/2" x 1-3" (9 FRONT FACE OF PORTAL)



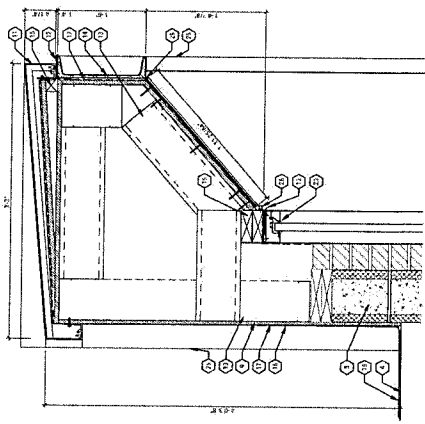
1 FRONT FACADE WALL SECTION
A1.1 3/4"=1'-0"



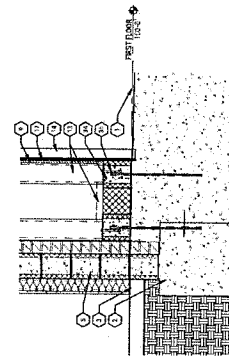
6 SECTION DETAIL
A3.1 1 1/2" x 1 1/2"
@ FRONT FACED PORTAL HEAD



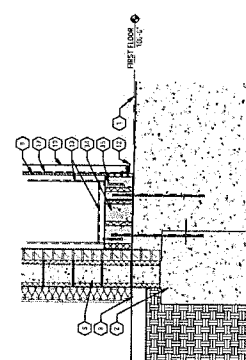
2 EAST FACADE WALL SECTION



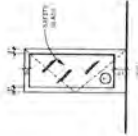
7 SECTION DETAIL
A3.1 1-1/2" x 1-3/4" @ FRONT FACED PORTAL & REEF CONNECTION



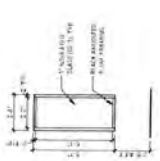
4 SECTION DETAIL



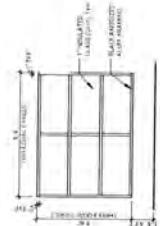
3 SECTION DETAIL
A3.1 3/4" x 1/2" @ FRONT FACADE PORTAL CUT @ ACM



1 ALUMINUM DOOR THRESHOLD



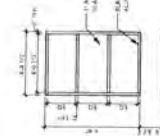
STOREFRONT
SF5



STOREFRONT
SEA



STOREFRONT
SF3



STOREFRONT
SF2



STOREFRONT

[illegible]

DOOR SCHEDULE

[illegible]

POWER SOLUTIONS FACADE RENOVATION

18377 E 14 MILE RD
FRASER, MI 48026



IMAGES ARE FOR CONCEPTUAL PURPOSES ONLY. NOT TO BE USED FOR CONSTRUCTION.

VICINITY MAP



PROJECT SUMMARY

PROJECT INCLUDES EXTERIOR FACADE IMPROVEMENTS INCLUDING ADDITION OF NEW ENTRY ELEMENT AND NEW METAL PANEL FASCIA. MINOR SITE IMPROVEMENTS ASSOCIATED WITH THE RENOVATION WILL BE INCLUDED.

DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE:

SHANE M. BURLEY, AIA, NCARB
STUDIO DETROIT, LLC
2040 PARK AVENUE, SUITE 200
DETROIT, MI 48226
E. SHANE@STUDIO-DETROIT.COM
P. 313.919.5886
MICHIGAN LICENSE NUMBER 1301058978
EXPIRES: 03.09.25

NOTE:
GENERAL CONTRACTOR SHALL COORDINATE WITH THEIR MATERIAL SUPPLIERS AND THE REGISTERED DESIGN PROFESSIONAL IN CHARGE TO SUBMIT THE FOLLOWING DEFERRED SUBMITTALS TO THE AUTHORITY HAVING JURISDICTION:

- STRUCTURAL CALCULATIONS
- REVIEW / SPECIAL INSPECTION OF EXISTING AND NEW CONCRETE FOUNDATION CONDITIONS
- REVIEW OF STEEL CONSTRUCTION SPECIAL INSPECTIONS
- FABRICATORS SHOP STATEMENT FOR SHOP WELDED OR FABRICATED STRUCTURAL ELEMENTS
- REVIEW OF CONCRETE SPECIAL INSPECTIONS
- REVIEW OF MASONRY SPECIAL INSPECTIONS
- ELECTRICAL POWER / LIGHTING COMPLIANCE
- STRUCTURAL VERIFICATION FOR GLASS AND GLAZING SYSTEMS

NOTE:
THESE CONSTRUCTION DRAWINGS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR CITY CODE AUTHORITY CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

SHEET INDEX

DRAWING INDEX KEY		08/20/24	BID PERMIT					
☐	NOT ISSUED							
☐	PREVIOUSLY ISSUED							
☒	ISSUED							
☐	REFERENCE							
GENERAL								
TS1.1	COVERSHEET	☒	☐	☐	☐	☐	☐	☐
ARCHITECTURAL								
D1.1	PARTIAL FLOOR/ROOF/RCP - DEMOLITION	☒	☐	☐	☐	☐	☐	☐
A1.1	PARTIAL FLOOR/ROOF/RCP	☒	☐	☐	☐	☐	☐	☐
A2.1	EXTERIOR ELEVATIONS	☒	☐	☐	☐	☐	☐	☐
A3.1	WALL SECTIONS/DETAILS	☒	☐	☐	☐	☐	☐	☐
A4.1	DOOR/FRAME ELEVATIONS / MATERIALS	☒	☐	☐	☐	☐	☐	☐

PROJECT DATA

OWNER
ERIN DOAN
18377 E. 14 MILE RD
FRASER, MI 48026
P. 517.944.1584
E. EDOAN@POWERSOLUTIONSINC.COM

BUILDING CODE AUTHORITY
CITY OF FRASER, MI

BUILDING CODES
BUILDING CODE
2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS (PRESCRIPTIVE COMPLIANCE METHOD)
INCORPORATING 2015 MICHIGAN BUILDING CODE (MBC 2015) FOR ALL NEW WORK AND AS REFERENCED

MECHANICAL CODE
ALSO KNOWN AS THE "MICHIGAN MECHANICAL CODE"
2021 MICHIGAN MECHANICAL CODE (MMC) AS AMENDED

PLUMBING CODE
ALSO KNOWN AS THE "MICHIGAN PLUMBING CODE"
2021 MICHIGAN PLUMBING CODE (MPC) AS AMENDED

ELECTRICAL CODE
ALSO KNOWN AS THE "MICHIGAN ELECTRICAL CODE"
2023 MICHIGAN ELECTRICAL CODE (MEC) AS AMENDED

AMERICANS WITH DISABILITIES ACT; ALSO KNOWN AS ADA
ICC - ANSI 117.1 - 2009
MBC-2015 CHAPTER 11

MICHIGAN ENERGY CODE PART 10a; 2015 IECC w/ AMENDMENTS AND ANSI/ASHRAE/IESNA STANDARD 90.1-2013 w/ AMENDMENTS

2015 INTERNATIONAL FIRE CODE

NFPA 13 - 2013

NFPA 72 - 2013

CONSTRUCTION CLASSIFICATION
IIB, NON-SPRINKLERED (EXISTING ASSUMED)

OCCUPANCY CLASSIFICATION
B - BUSINESS (UNCHANGED)

SYMBOL LEGEND

	ARROWS INDICATES ELEVATED SECTION
	ELEVATION NUMBERS
	SHEET NUMBER WHERE ELEVATION IS LOCATED
	ELEVATION NUMBER
	SHEET NUMBER WHERE ELEVATION IS LOCATED
	DETAIL REFERENCE NUMBER
	SHEET NUMBER WHERE DETAIL IS LOCATED
	DETAIL NUMBER
	DETAIL NAME
	DRAWING SCALE
	SHEET NUMBER WHERE DETAIL IS REFERENCED
	HEIGHT ABOVE FINISHED FLOOR
	REFERENCE POINT OF ELEVATION
	HEIGHT ABOVE FINISHED FLOOR
	NOTE: DATUM SYMBOL INDICATES A SPECIFIC REFERENCE HEIGHT OF MATERIAL INDICATED
	ROOM NAME
	ROOM NUMBER
	MATCH LINE
	SEE SHEET: A3
	WALL TYPE DESIGNATION NUMBER - COORDINATE WITH SCHEDULE
	EQUIPMENT DESIGNATION NUMBER - COORDINATE WITH PLAN NOTES
	KEY NOTE DESIGNATION NUMBER - COORDINATE WITH PLAN NOTES
	ADDENDUM DESIGNATION NUMBER
	BULLETIN DESIGNATION NUMBER

MATERIAL LEGEND

	ACOUSTICAL CEILING
	BATT/LOOSE INSULATION
	BLOCKING/ROUGH LUMBER
	CONCRETE
	FINISHED WOOD
	GYPSUM WALLBOARD
	MASONRY
	PLYWOOD

ABBREVIATION

@	ACOUST.	AT	ACOUSTICAL	EXG.	EXISTING	MISC.	MISCELLANEOUS	S.S.	SERVICE SINK
A.C.T.	ACUSTIC	A.C.T.	ACOUSTIC CEILING TILE	EXIST.	EXISTING	M.O.	MASONRY OPENING	STL.	STEEL
ADJ.	ADJACENT	ADJ.	ADJACENT	EXP.	EXPANSION, EXPOSED	N.I.C.	NOT IN CONTRACT	STD.	STANDARD
A.F.F.	ABOVE FINISH FLOOR	A.F.F.	ABOVE FINISH FLOOR	EXT.	EXTERIOR	N.T.S.	NOT TO SCALE	STOR.	STORAGE
ALUM.	ALUMINUM	F.D.	FLOOR DRAIN	F.D.	FLOOR DRAIN	O.C.	ON CENTER	STRUCT.	STRUCTURAL
ANOD.	ANODIZED	FDN.	FOUNDATION	FDN.	FOUNDATION	O.D.	OUTSIDE DIAMETER	SUSP.	SUSPENDED
BD.	BOARD	F.R.P.	FIBER REINFORCED PANELS	F.R.P.	FIBER REINFORCED PANELS	OPNG.	OPENING	SW.	SWITCH
BLDG.	BUILDING	FIN.	FINISH	FIN.	FINISH	OPP.	OPPOSITE	SYM.	SYMMETRICAL
BLK.	BLOCK	FLR.	FLOOR	FLR.	FLOOR	PL.G.	PLATE GLASS	T.	TREAD
BLKG.	BLOCKING	F.O.	FACE OF	F.O.	FACE OF	PL.S.	PLATE STEEL	T&B	TOP AND BOTTOM
CEN.	CEMENT	F.O.S.	FACE OF STUD	F.O.S.	FACE OF STUD	P.LAM.	PLASTIC LAMINATE	TEL.	TELEPHONE
C.J.	CONTROL JOINT	FR.	FRAME	FR.	FRAME	PLAS.	PLASTER	TERR.	TERRAZZO
CLG.	CEILING	FTG.	FOOTING	FTG.	FOOTING	PREFAB.	PREFABRICATED	T&G	TONGUE AND GROOVE
CL.	CENTER LINE	GA.	GAUGE	GA.	GAUGE	PROJ.	PROJECT, PROJECTION	THK.	THICK, THICKNESS
C.O.	CLEAN OUT	GALV.	GALVANIZED	GALV.	GALVANIZED	P.S.F.	POUNDS PER SQUARE FOOT	THRES.	THRESHOLD
COL.	COLUMN	GYP.	GYPSUM	GYP.	GYPSUM	PT.	POINT, POINT	T.O.S.	TOP OF STEEL
CONC.	CONCRETE	HDW.	HARDWARE	HDW.	HARDWARE	R.	RISER	TYP.	TYPICAL
C.G.	CORNER GUARD	H.M.	HOLLOW METAL	H.M.	HOLLOW METAL	R.A.	RETURN AIR	U/C	UNDERCUT
CONST.	CONSTRUCTION	HORIZ.	HORIZONTAL	HORIZ.	HORIZONTAL	R.B.	RUBBER BASE	U.N.O.	UNLESS NOTED OTHERWISE
CONT.	CONTINUOUS	HT.	HEIGHT	HT.	HEIGHT	R.C.	ROOF CONDUCTOR	V.B.	VINYL BASE
CORR.	CORRUGATED	I.D.	INSIDE DIAMETER	I.D.	INSIDE DIAMETER	R.C.P.	REFLECTED CEILING PLAN	V.C.T.	VINYL COMPOSITION TILE
CPT.	CARPET	INSUL.	INSULATION	INSUL.	INSULATION	R.D.	ROOF DRAIN	V.P.F.	VINYL PLANK FLOORING
C.T.	CERAMIC TILE	INT.	INTERIOR	INT.	INTERIOR	R.F.	RUBBER FLOORING	V.I.F.	VERIFY IN FIELD
DET.	DETAIL	JT.	JOINT	JT.	JOINT	REINF.	REINFORCED, REINFORCING	W.	WIDE
DIA.	DIAMETER	LAV.	LAVATORY	LAV.	LAVATORY	REQ'D.	REQUIRED	VERT.	VERTICAL
DM.	DIMENSION	LG.	LONG	LG.	LONG	RFG.	ROOFING	WAINS.	WAINSCOT
DN.	DOWN	L.L.O.	LONG LEG OUTSTANDING	L.L.O.	LONG LEG OUTSTANDING	RM.	ROOM	W.C.	WATER CLOSET
D.O.	DOOR OPENING	DN.	DOWN	DN.	DOWN	R.S.	ROOF SUMP	WD.WIN.	WOOD WINDOW
DR.	DOOR	MAX.	MAXIMUM	MAX.	MAXIMUM	R.T.	RUBBER TILE	WT.	WEIGHT
DWG.	DRAWING	MECH.	MECHANICAL	MECH.	MECHANICAL	SAN.	SANITARY	W.W.F.	WELDED WIRE FABRIC
EA.	EACH	MET.	METAL	MET.	METAL	SCHED.	SCHEDULE		
ELEV.	ELEVATION	MEZZ.	MEZZANINE	MEZZ.	MEZZANINE	SHT.	SHEET		
E.W.	EACH WAY	M.I.	MISCELLANEOUS IRON	M.I.	MISCELLANEOUS IRON	SIM.	SIMILAR		
		MIN.	MINIMUM	MIN.	MINIMUM	SPEC.	SPECIFICATION		

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PROJECT

**POWER SOLUTIONS
FACADE RENOVATION**

18377 E 14 MILE RD
FRASER, MI 48026

PROJECT NO. 24036

COVERSHEET

TS1.1

PROJECT MANAGER

SHANE M. BURLEY
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GENERAL DEMOLITION PLAN NOTES:

- ALL DEMOLITION WORK REQUIRED IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON THE DEMOLITION PLANS. THE INTENT IS TO REMOVE ALL MECHANICAL, ELECTRICAL, AND ARCHITECTURAL ITEMS AS REQUIRED TO FACILITATE NEW CONSTRUCTION.
- COORDINATE SCOPE AND EXTENT OF DEMOLITION WORK WITH NEW WORK PLANS AND DETAILS.
- ALL WALLS, DOORS, FRAMES, AND RELATED HARDWARE ASSEMBLIES DESIGNATED AS "TO BE REMOVED" (SHOWN AS DASHED LINES) SHALL BE COMPLETELY REMOVED AND DISPOSED OF AS DESIGNATED BY OWNER/TENANT. ALL EXISTING WALLS NOT DESIGNATED FOR DEMOLITION SHALL BE PROTECTED FROM DAMAGE AND REMAIN "AS-IS".
- CLEAN AND REPAIR ALL EXISTING FLOOR FINISHES AS NECESSARY.
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DEMOLITION PLAN KEY NOTES:
(TYPICAL THIS SHEET ONLY)

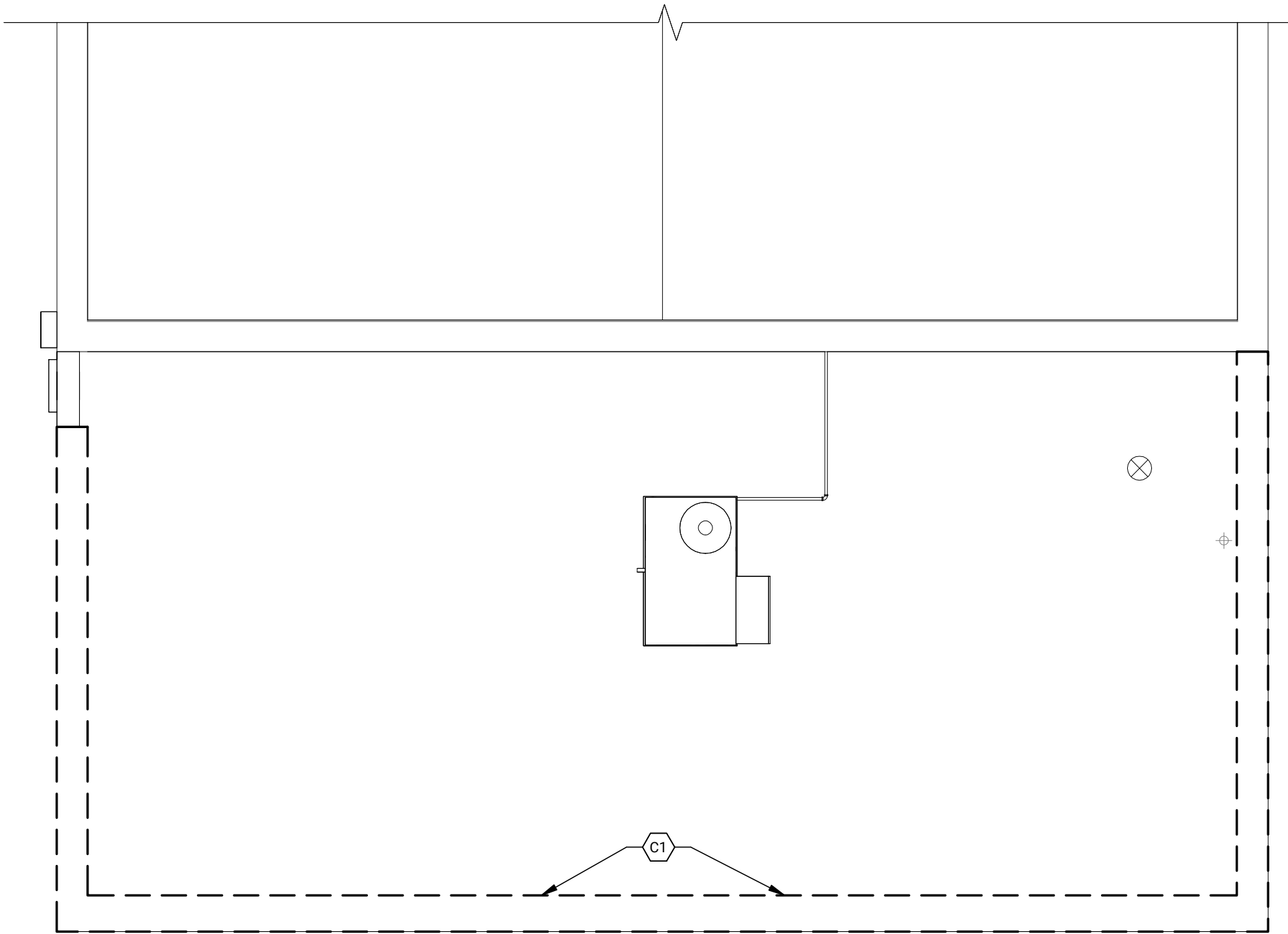
- A1 REMOVE AND REPLACE EXISTING GLAZING AND STOREFRONT; COORDINATE W/ NEW WORK
- A2 REMOVE SILL WALL CONSTRUCTION COMPLETE DOWN TO GRADE

DEMOLITION RCP KEY NOTES:
(TYPICAL THIS SHEET ONLY)

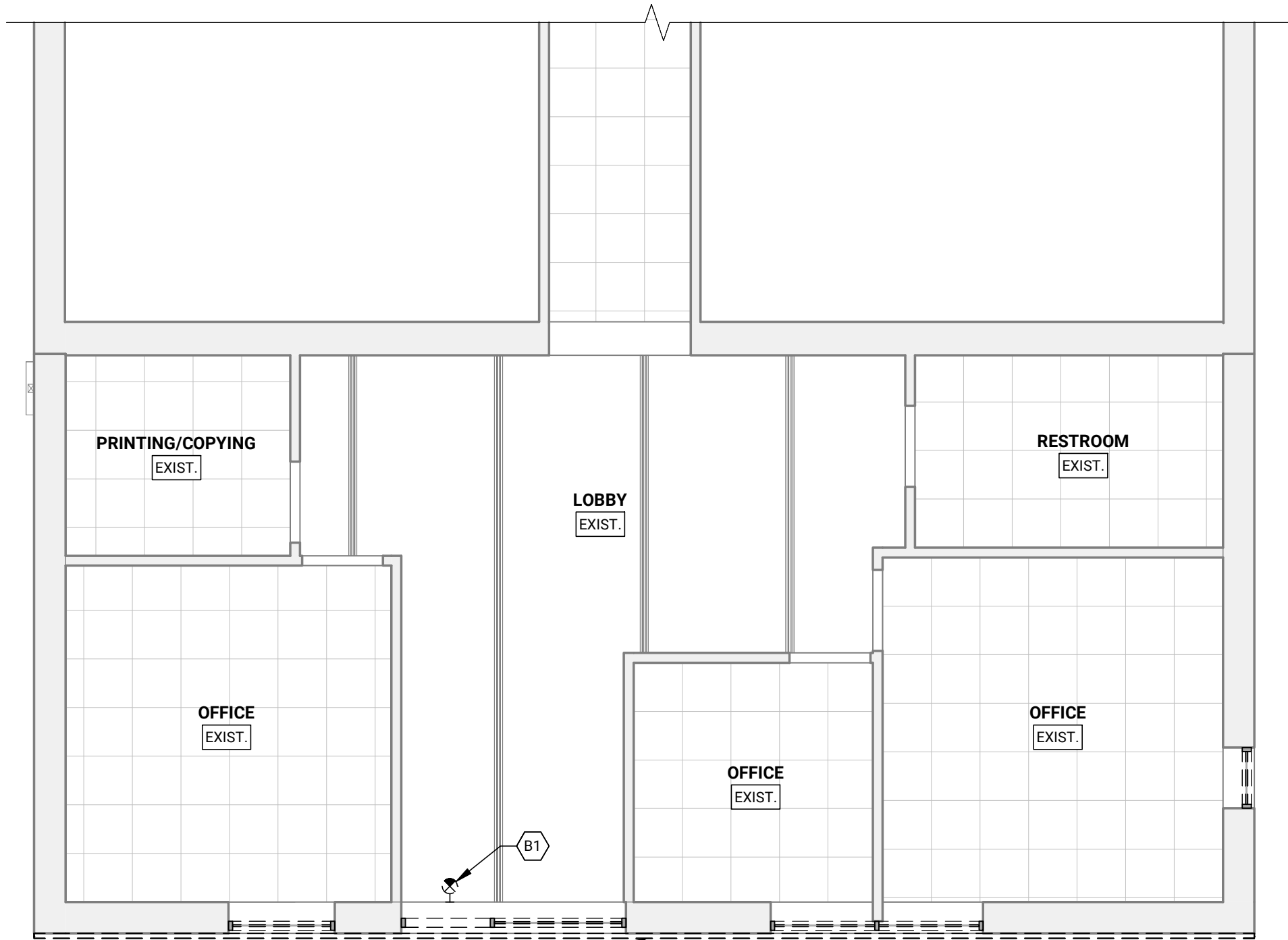
- B1 REMOVE, SALVAGE, AND RELOCATE EXIT SIGN; DISCONNECT AND RELOCATE ELECTRICAL PER NEW WORK PLANS
- B2 REMOVE EXISTING METAL PANEL BACK TO EXISTING BRICK. CONTRACTOR TO INSPECT BRICK AND WATER PROOFING. REPAIR AND REPLACE AS REQUIRED. COORDINATE W/ NEW WORK PLANS

DEMOLITION ROOF PLAN KEY NOTES:
(TYPICAL THIS SHEET ONLY)

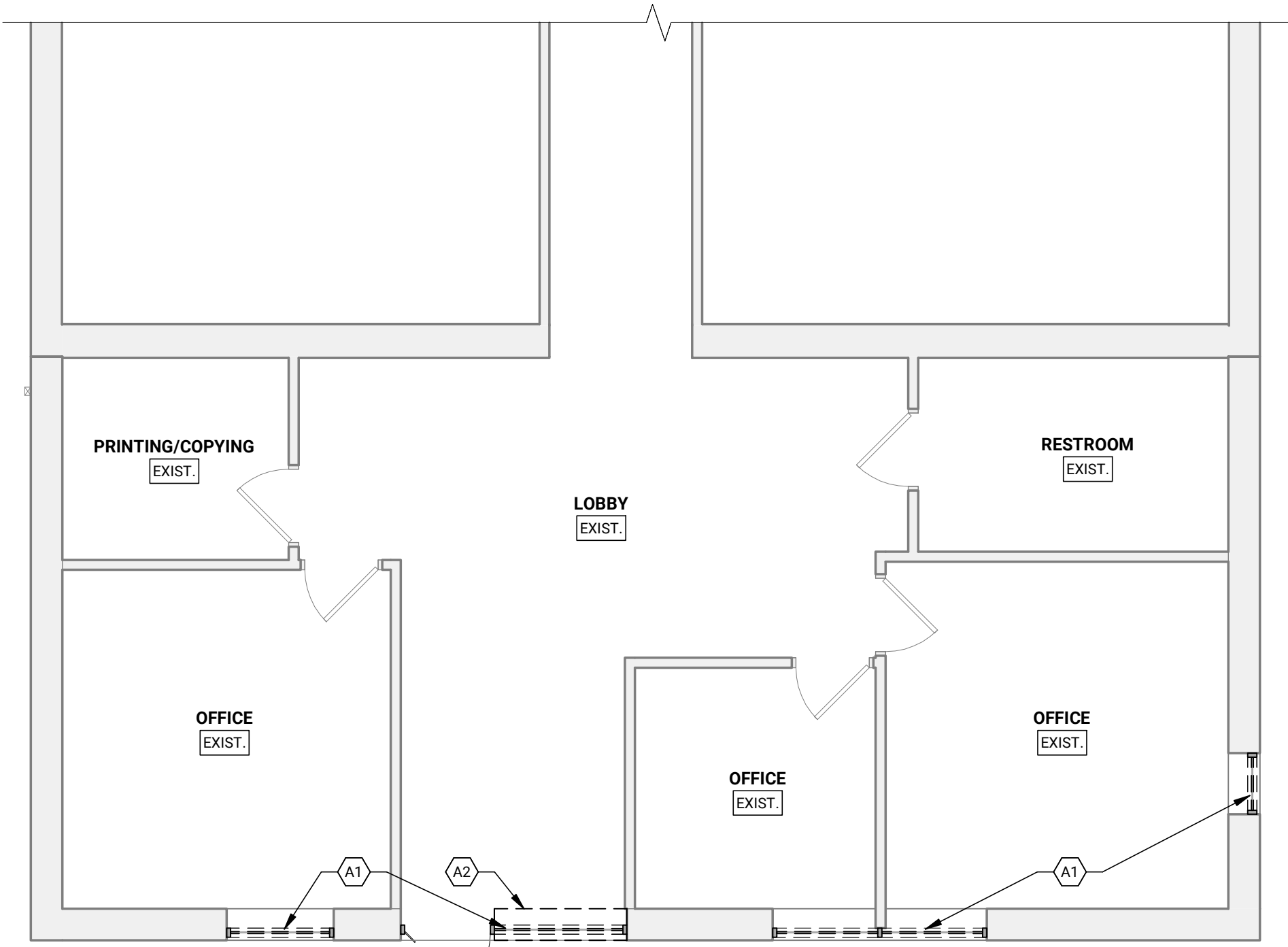
- C1 REMOVE PARAPET MEMBRANE FLASHING TO EXTENTS OUTLINED



N
3/16" = 1'-0"
ARCHITECTURAL ROOF PLAN - DEMO



N
3/16" = 1'-0"
FIRST FLOOR REFLECTED CEILING PLAN - DEMOLITION



N
3/16" = 1'-0"
FIRST FLOOR PLAN - DEMOLITION

REFLECTED CEILING DEMOLITION LEGEND

SYMBOL	DESCRIPTION (TO BE REMOVED)
	EXISTING ACOUSTIC CEILING TILE TO REMAIN
	EXIT LIGHT (SHADING INDICATES LIGHTED FACE)

DEMOLITION KEY:

	WALL TO REMAIN
	WALL TO BE REMOVED

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FACADE RENOVATION

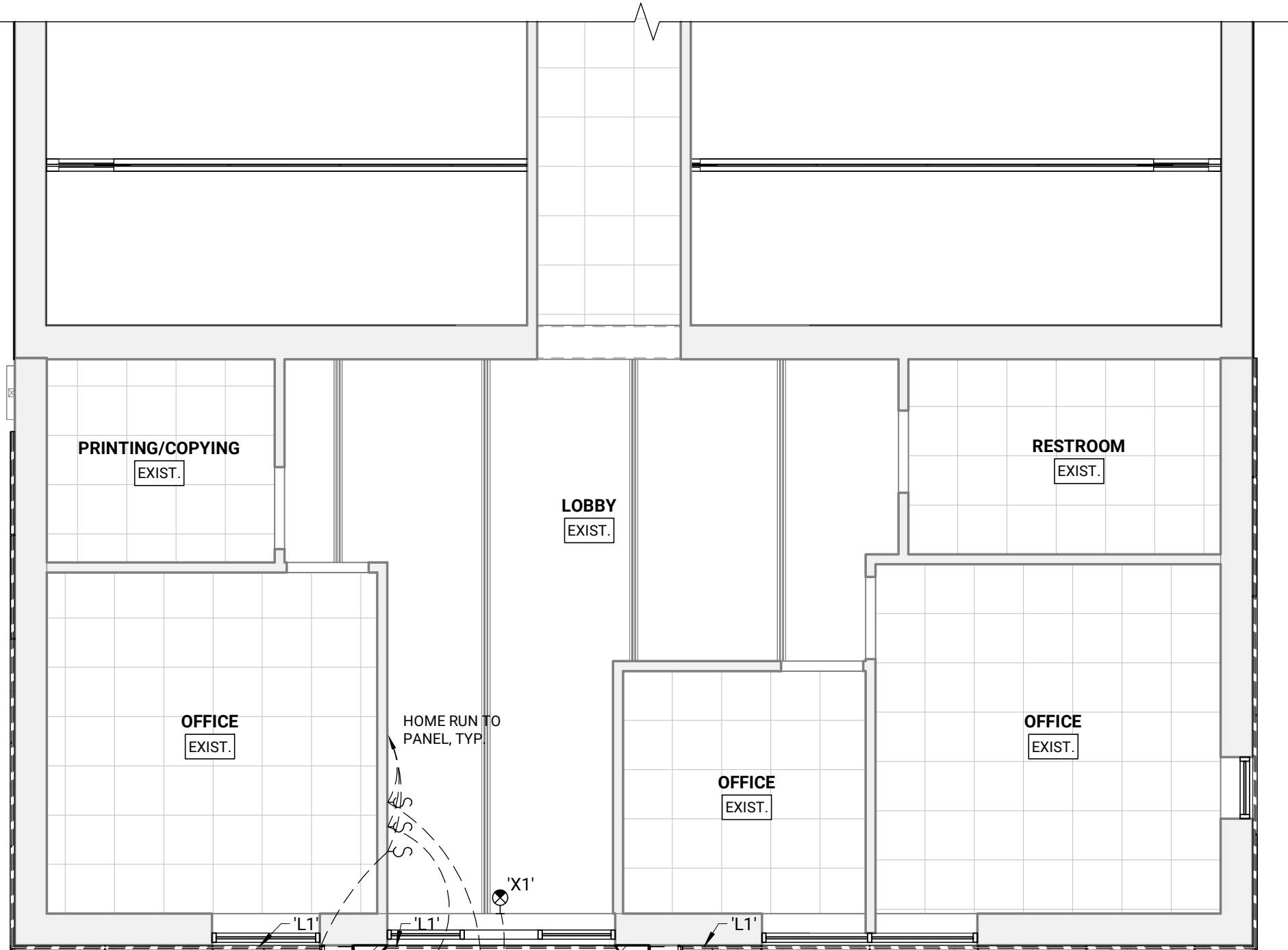
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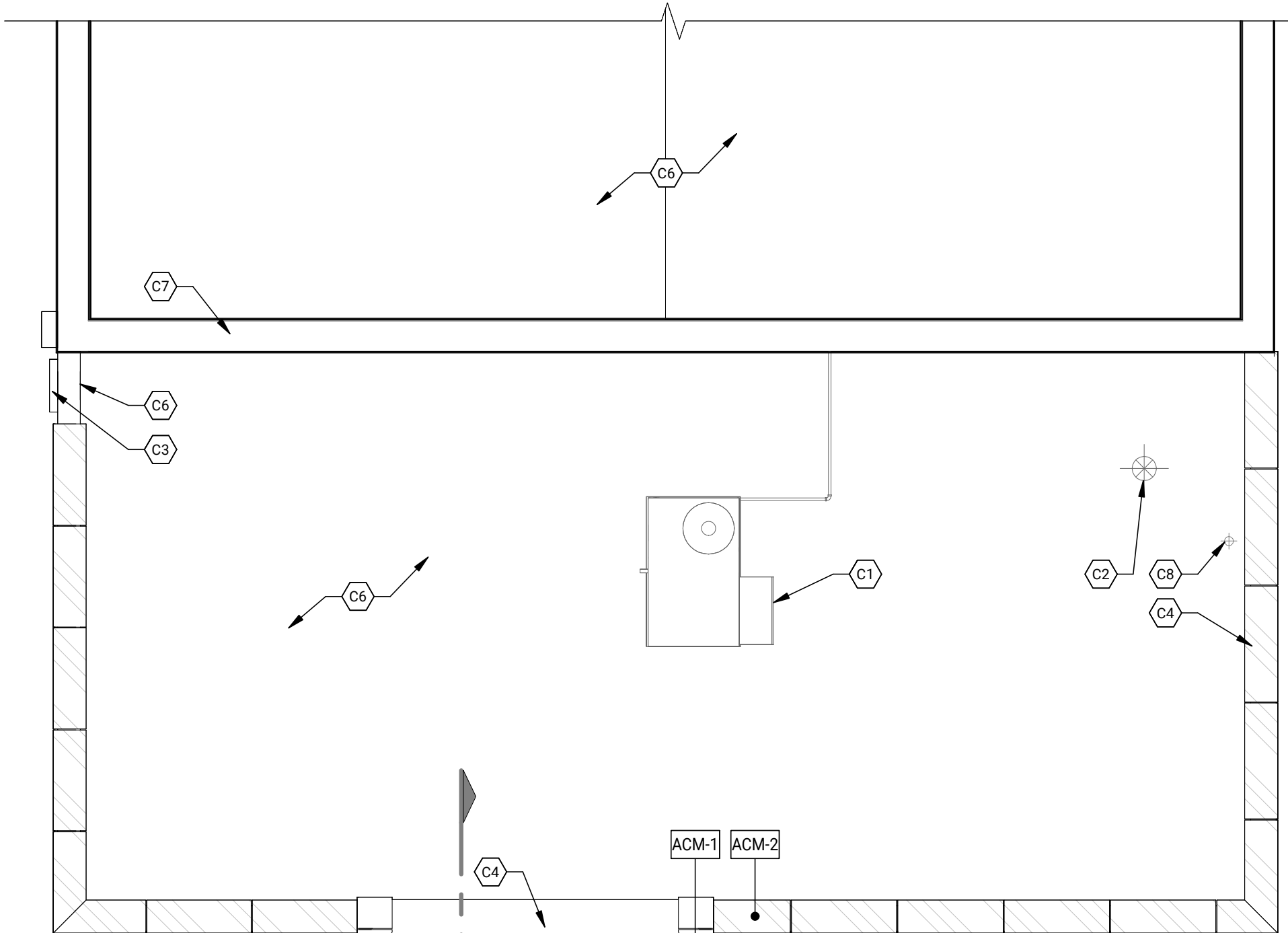
PARTIAL
FLOOR/ROOF/RCP -
DEMOLITION

D1.1

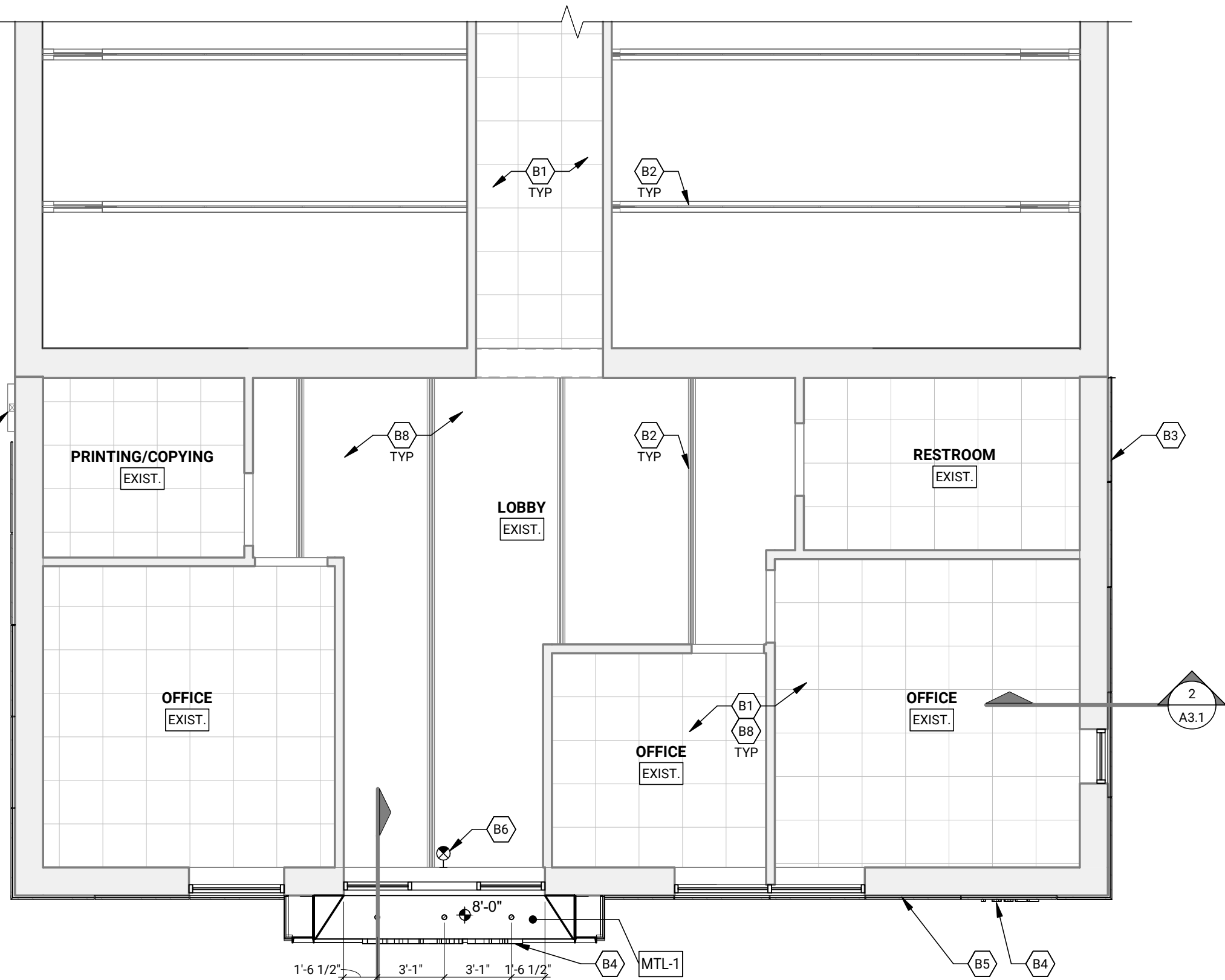
LIGHTING FIXTURE SCHEDULE			
-----	'L1' 1" LED CHANNEL LIGHT BL LIGHTING - BL neonVIEW MN SL SI VB - 4000K - NVS MN SL EC 68 - NVMNSL CHS NOTE: 45 DEGREE MITER AND INJECTION MOLDING AT CORNERS (BY MANUF.)		'ES' WALL MOUNTED EXTERIOR SIGN, BY MANUFACTURER
●	'F1' 2" DIA RECESSED LED DOWNLIGHT INTENSE LIGHTING GD2DR 2" GRAVITY LED LENSED HOUSING PART # GD2DRNCL240DIM*NF, REFLECTOR PART # IRDT202B*-SF-SL		'X1' EXISTING SALVAGED EXIT SIGN
●	'F1-X' 2" DIA RECESSED LED DOWNLIGHT INTENSE LIGHTING GD2DR 2" GRAVITY LED LENSED HOUSING PART # GD2DRNCL240DIM*NF, REFLECTOR PART # IRDT202B*-SF-SL TO BE USED AS EXTERIOR REMOTE HEAD FIXTURE, DRAW POWER FROM 'X1'		



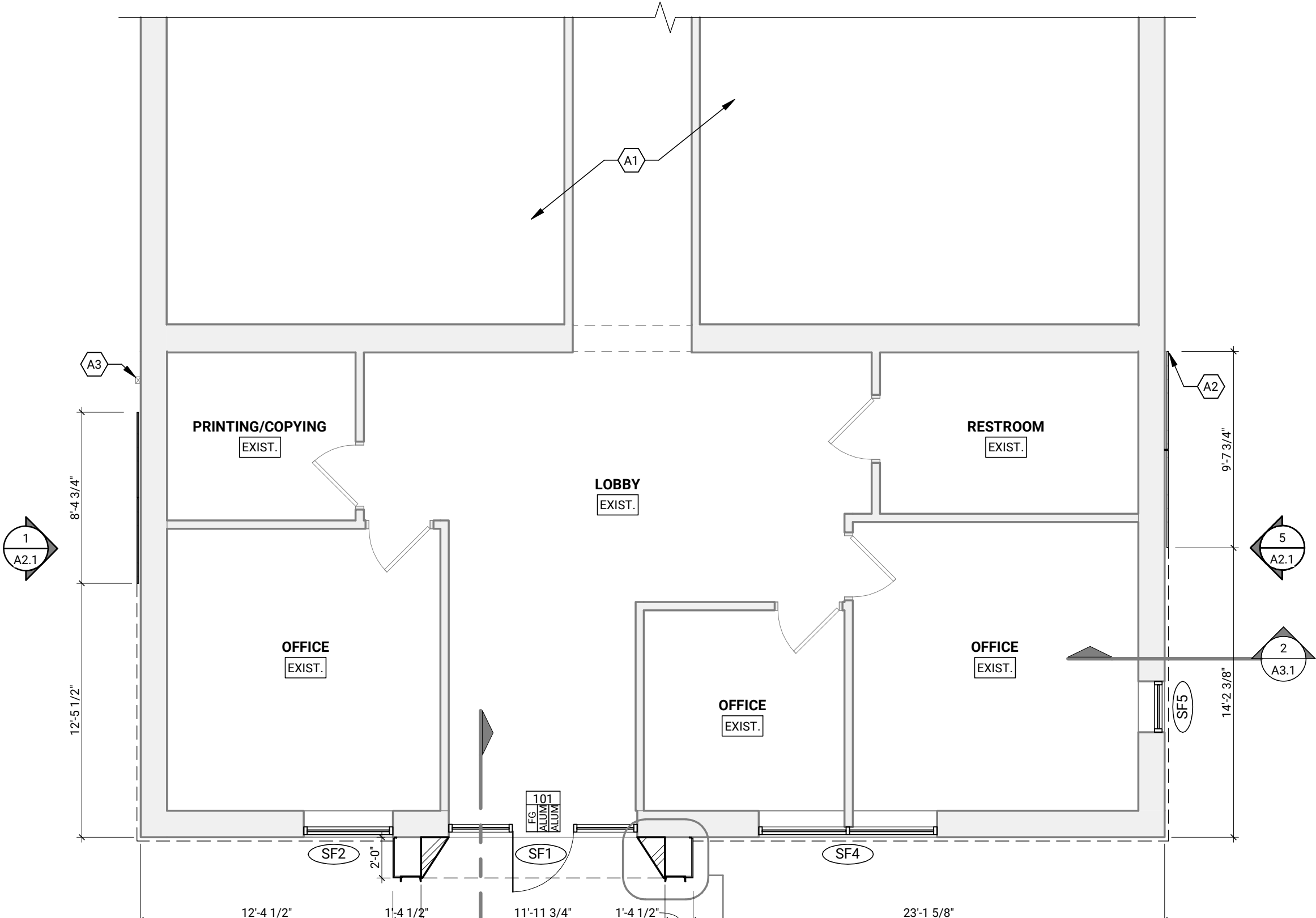
PARTIAL FIRST FLOOR ELECTRICAL PLAN
3/16" = 1'-0"



ARCHITECTURAL ROOF PLAN
3/16" = 1'-0"



PARTIAL FIRST FLOOR REFLECTED CEILING PLAN
3/16" = 1'-0"



PARTIAL FIRST FLOOR PLAN
3/16" = 1'-0"

GENERAL FLOOR PLAN NOTES:

- THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK, COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
- ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED; AT TILE WALL LOCATIONS, TILE THICKNESS IS ASSUMED TO BE 1/2".
- ALL WOOD, INCLUDING BLOCKING, USED ON THE PROJECT SHALL BE FIRE RETARDANT TREATED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION AND ADA REQUIRED CLEARANCES.
- CLEAN AND REPAIR ALL EXISTING FLOOR FINISHES AS NECESSARY.
- COORDINATE WITH OWNER'S EQUIPMENT SUPPLIER FOR INSTALLATION REQUIREMENTS / LOCATIONS OF FLOOR / WALL / CEILING MOUNTED ITEMS; IE. CAMERAS, TV'S, SPEAKERS, SENSORS, SECURITY WIRING, ETC.
- CONTRACTOR SHALL CONDUCT A ROUGH ELECTRICAL INSPECTION WITH OWNER, PRIOR TO ENCLOSING WALLS, FOR THE PURPOSE OF CONFIRMING ALL J-BOX LOCATIONS FOR POWER, DATA, VOICE, SWITCH, THERMOSTAT, ETC.

FLOOR PLAN KEY NOTES:
(TYPICAL THIS SHEET ONLY)

- A1 EXISTING SHOP AREA TO REMAIN
- A2 ALIGN EDGE OF NEW ACM TO EXISTING CMU WALL; VERIFY EXACT LOCATION IN FIELD
- A3 EXISTING DOWNSPOUT TO GRADE

GENERAL REFLECTED CEILING PLAN NOTES:

- ELECTRICAL CONTRACTOR SHALL COORDINATE/CONFIRM ALL LIGHT SWITCH, PHONE, DATA, AND ELEC. OUTLETS, W/ TENANT. - ELEC. CONT. SHALL RECEIVE FINAL WRITTEN APPROVAL OF ALL LOCATIONS PRIOR TO ENCLOSING GYP. BD. WALLS.
- ELECTRICAL CONTRACTOR TO VERIFY QUANTITY AND LOCATION OF ALL EXISTING LIGHT FIXTURES TO BE REPLACED.
- REFER TO DIMENSIONS ON REFLECTED CEILING PLAN TO LOCATE / LAYOUT CEILING GRID AND/OR LIGHT FIXTURES.

REFLECTED CEILING PLAN KEY NOTES:
(TYPICAL THIS SHEET ONLY)

- B1 EXISTING ACOUSTICAL CEILING SYSTEM TO REMAIN
- B2 EXISTING EXPOSED STRUCTURE TO REMAIN
- B3 NEW ACM FASCIA SYSTEM (ACM-2); SEE ELEVATIONS AND DETAILS
- B4 NEW BUILDING MOUNTED SIGNAGE; PROVIDE J-BOX AND POWER PER APPROVED SIGNAGE DRAWINGS
- B5 NEW LED CHANNEL LIGHT; SEE DETAILS AND COORDINATE W/ ELECTRICAL
- B6 NEW LOCATION OF SALVAGED EXIT SIGN
- B7 EXISTING COLLECTOR BOX AND DOWNSPOUT TO GRADE TO REMAIN
- B8 EXISTING CEILING, LIGHTING, AND HVAC TO REMAIN U.N.O.

GENERAL ROOF PLAN NOTES:

- REFER TO GENERAL FLOOR PLAN NOTES FOR ADDITIONAL GENERAL NOTE REQUIREMENTS.
- NEW ROOF SLOPES TO BE 1/4" PER FOOT MINIMUM; TYPICAL CRICKETS TO BE 1/2" PER FOOT SLOPE MINIMUM.
- COORDINATE ALL NEW ROOF PENETRATIONS WITH OTHER TRADES; INCLUDING STRUCTURAL, MECHANICAL AND ELECTRICAL.

ROOF PLAN KEY NOTES:
(TYPICAL THIS SHEET ONLY)

- C1 EXISTING RTU ON CURB TO REMAIN
- C2 EXISTING EXHAUST FAN TO REMAIN
- C3 EXISTING COLLECTOR BOX AND DOWNSPOUT TO GRADE TO REMAIN
- C4 NEW INTEGRAL ACM COPING; CAULK ALL SKYWARD JOINTS; SEE DETAIL
- C5 NOT USED
- C6 EXISTING ROOF MEMBRANE TO REMAIN
- C7 EXISTING COPING TO REMAIN
- C8 EXISTING PIPE TO REMAIN

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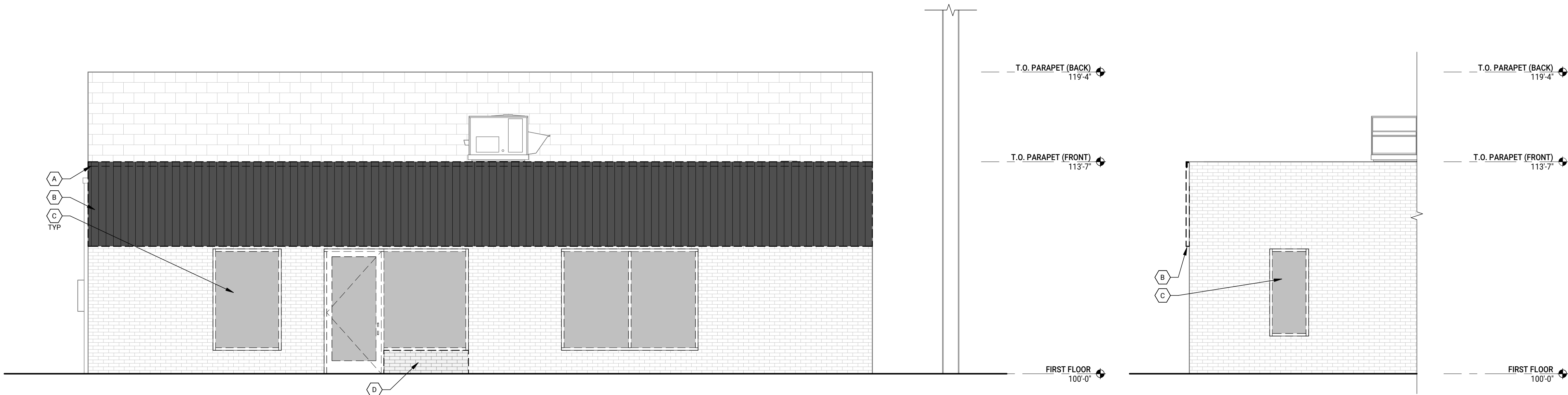
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PROJECT NO. 24036

PARTIAL
FLOOR/ROOF/RCP

A1.1

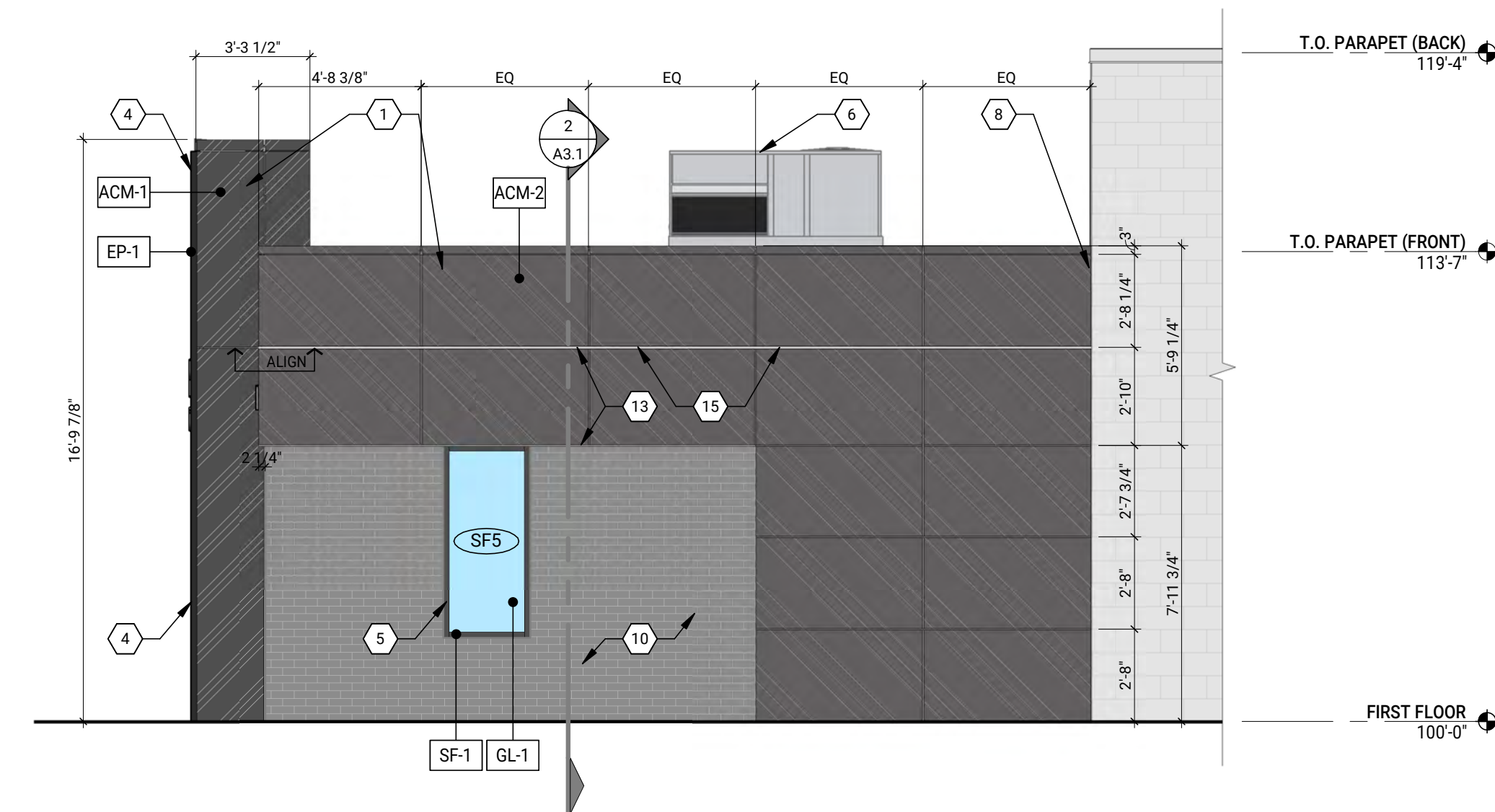


4 SOUTH ELEVATION - DEMOLITION
A1.1 1/4" = 1'-0"

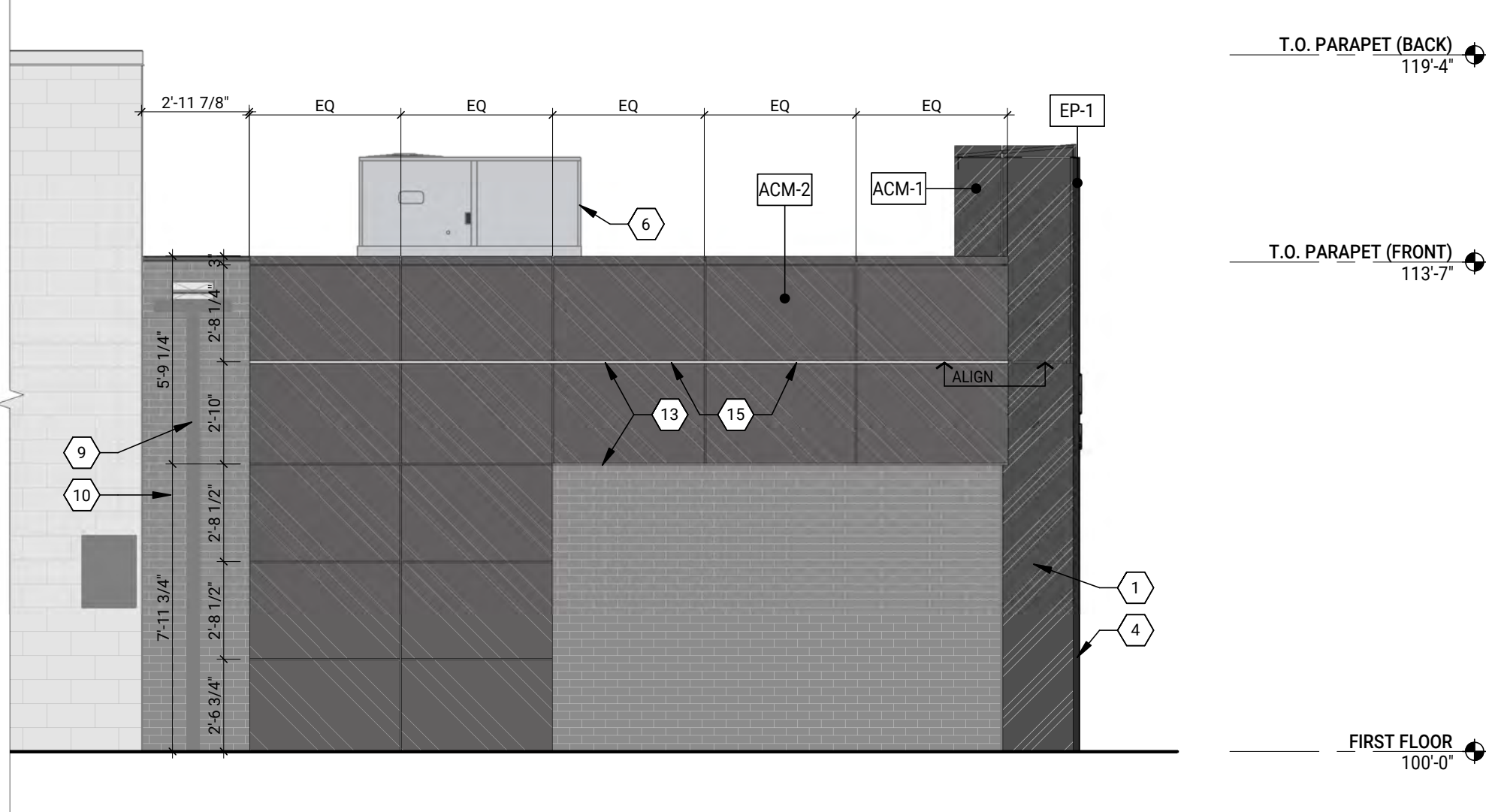
5 EAST ELEVATION - DEMOLITION
A1.1 1/4" = 1'-0"



3 SOUTH ELEVATION
A1.1 1/4" = 1'-0"



2 EAST ELEVATION
A1.1 1/4" = 1'-0"



1 WEST ELEVATION
A1.1 1/4" = 1'-0"

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DEMOLITION ELEVATION KEY NOTES: (TYPICAL THIS SHEET ONLY)

- REMOVE PARAPET METAL COPING TO EXTENTS OUTLINED; SEE (D1.1) DEMOLITION ROOF PLAN
- REMOVE EXISTING METAL PANEL BACK TO EXISTING BRICK. CONTRACTOR TO INSPECT BRICK AND WATER PROOFING. REPAIR AND REPLACE AS REQUIRED. COORDINATE w/ NEW WORK PLANS
- REMOVE AND REPLACE EXISTING GLAZING AND STOREFRONT; COORDINATE w/ NEW WORK PLANS
- REMOVE SILL WALL CONSTRUCTION COMPLETE DOWN TO GRADE

EXTERIOR ELEVATION KEY NOTES: (TYPICAL THIS SHEET ONLY)

- ALUMINUM COMPOSITE PANEL (RAINSCREEN w/ DRY JOINT) w/ 1/2" REVEAL; LED HORIZONTAL LIGHTING STRIPS ON ACM-2 AS INDICATED; SEE LIGHTING FIXTURE SCHEDULE
- EXISTING PYLON SIGN TO REMAIN
- BUILDING MOUNTED SIGNAGE; COORDINATE POWER REQUIREMENTS w/ APPROVED SIGNAGE DRAWINGS
- STEEL CHANNEL (C12X25); PRIMED AND PAINTED TO MATCH EP-1
- NEW GLASS AND ALUMINUM STOREFRONT SYSTEM IN EXISTING OPENING; CONTINUOUS SEALANT ON ALL SIDES, TYP.
- EXISTING RTU TO REMAIN
- EXISTING COPING TO REMAIN
- ALIGN EDGE OF NEW ACM TO EXISTING CMU WALL; VERIFY EXACT LOCATION IN FIELD
- EXISTING COLLECTOR BOX AND DOWNSPOUT TO GRADE TO REMAIN
- EXISTING BRICK TO REMAIN, TYP.
- NEW SPANDREL GLAZING
- COPING TO MATCH LONGBOARD
- NEW LED TAPE LIGHT (L1) ON ALUMINUM CHANNEL TO MATCH EP-1; SEE LIGHTING FIXTURE SCHEDULE
- NEW 3" RECESSED DOWNLIGHTS (F1); SEE LIGHTING FIXTURE SCHEDULE
- 1" ACM JOINT REVEAL AT INDICATED HORIZONTAL LOCATION TO PROVIDE SPACE FOR L1

EXTERIOR MATERIALS			
TAG	LEGEND	MATERIAL	FINISH
ACM-1		ALUMINUM COMPOSITE MATERIAL	ALPOLIC - TBL BLACK
ACM-2		ALUMINUM COMPOSITE MATERIAL	ALPOLIC - BLX BLACK
EP-1		EXTERIOR PAINT	SHERWIN WILLIAMS, COLOR: BLACK MAGIC SW6991, GLOSS FINISH
MTL-1		ALUMINUM PANEL	METAL CLADDING; LONGBOARD - LIGHT CHERRY (1SLCY) - 2 1/2" V GROOVE SV.145
GL-1		EXTERIOR GLAZING	SOLARBAN 70 (2) + CLEAR
GL-2		BACK-PAINTED EXTERIOR GLAZING	SOLARBAN 70 (2) BACKPAINTED BLACK
SF-1		STOREFRONT	BLACK ANODIZED ALUMINUM FRAMING; THERMALLY BROKEN, KAWNEER 451/451T SYSTEM

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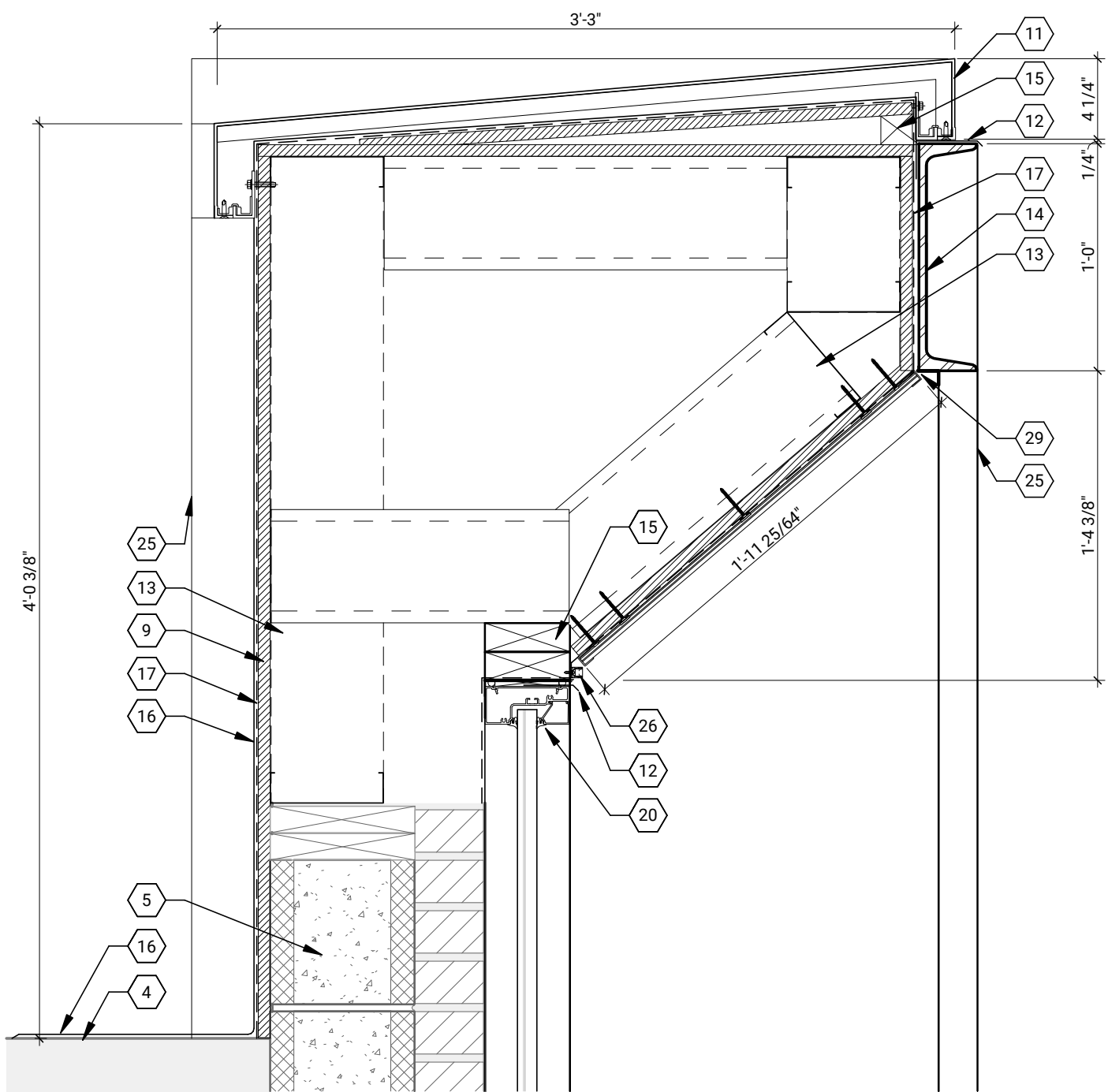
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FRASER, MI 48026

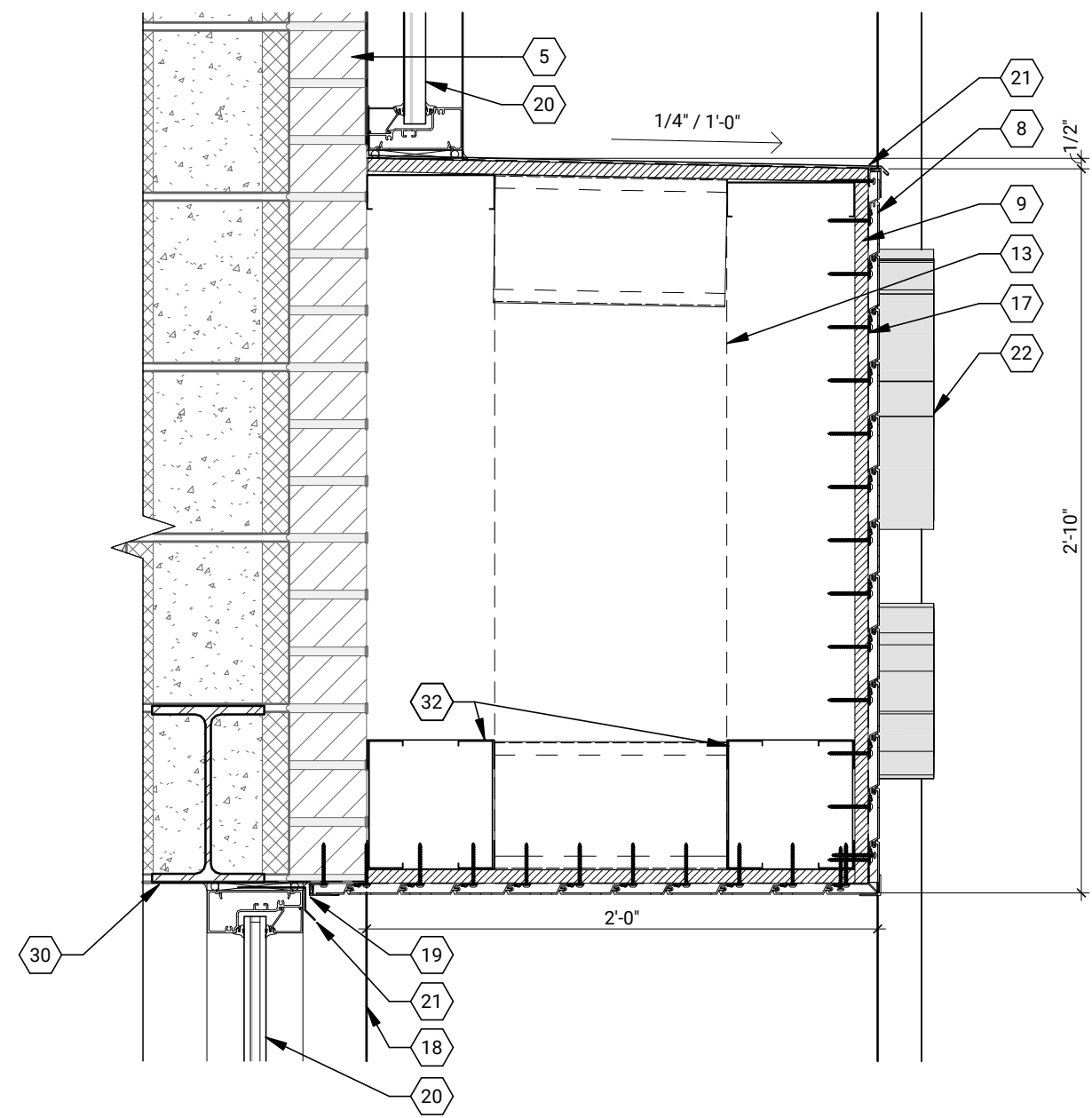
PROJECT NO. 24036

EXTERIOR ELEVATIONS

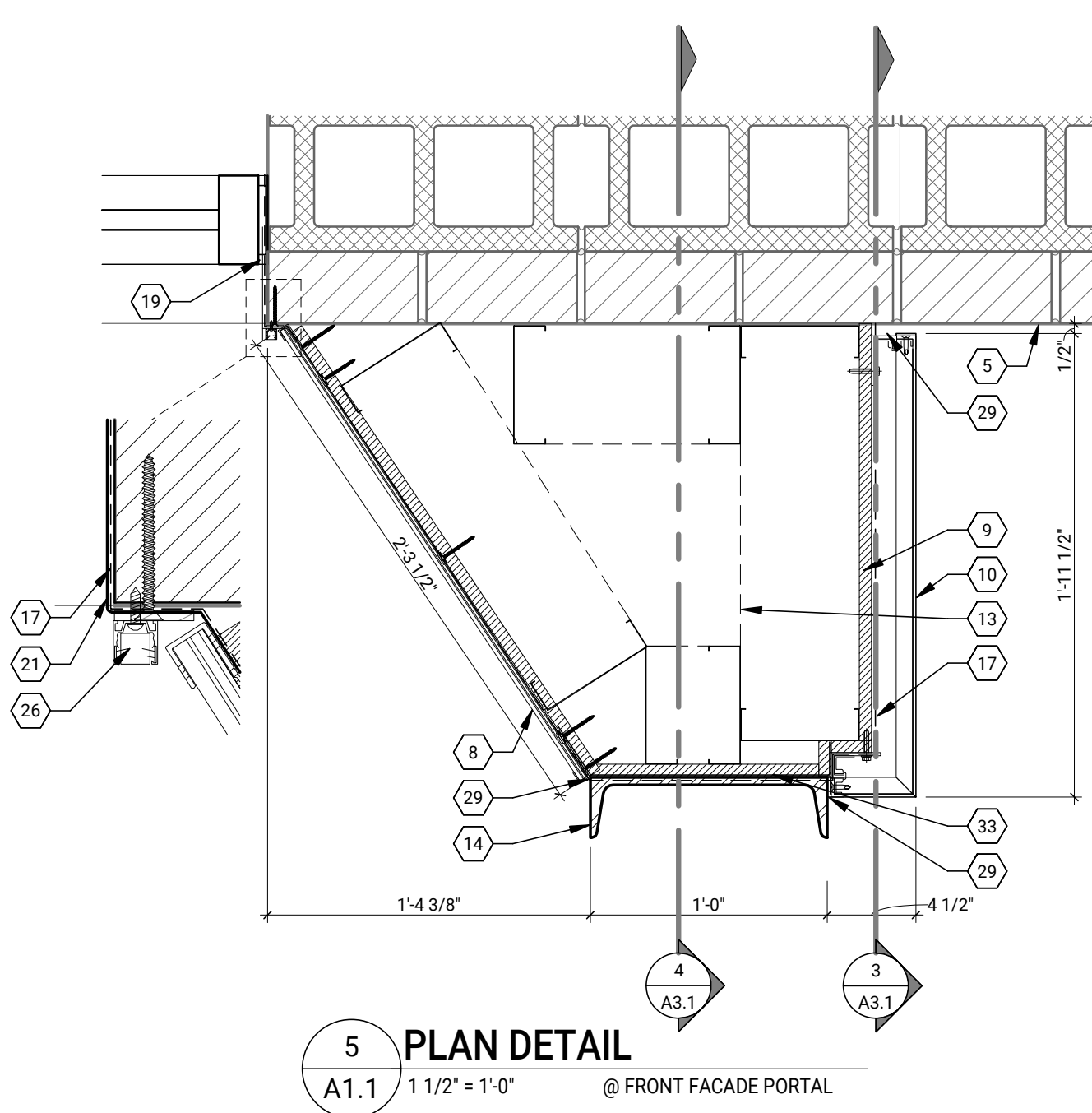
A2.1



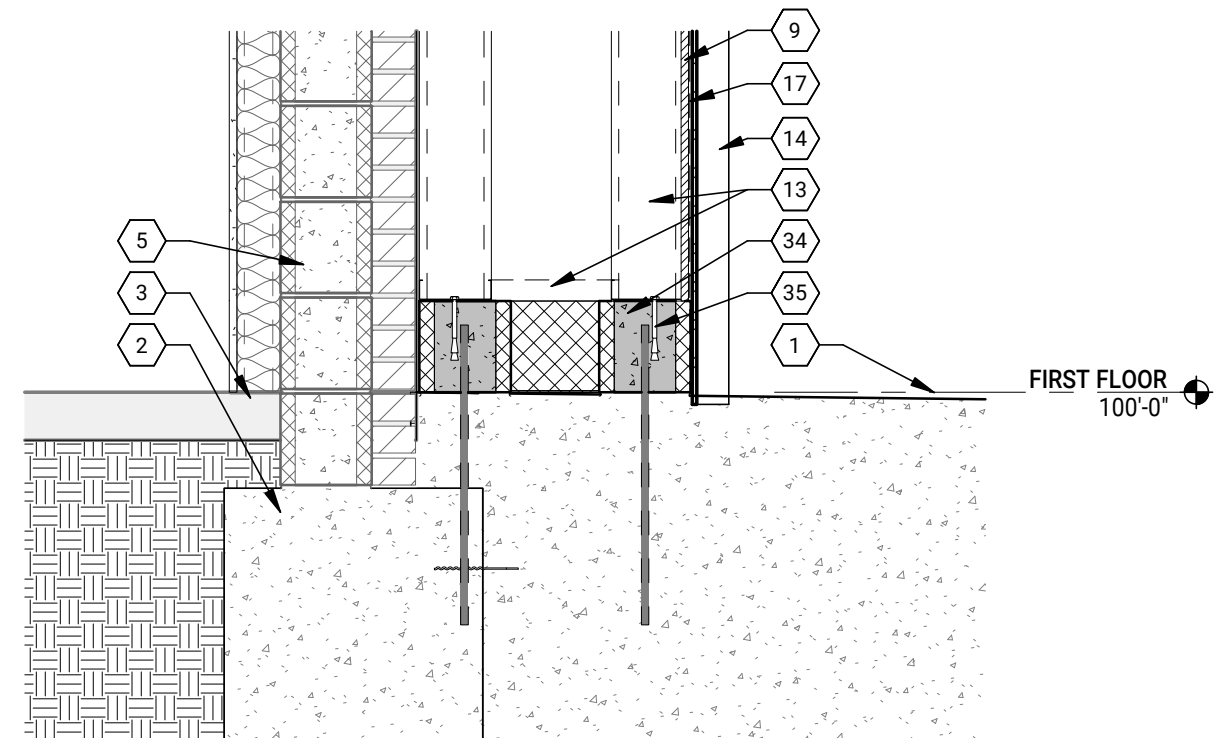
7 SECTION DETAIL
A3.1 1 1/2" = 1'-0" @ FRONT FACADE PORTAL & ROOF CONNECTION



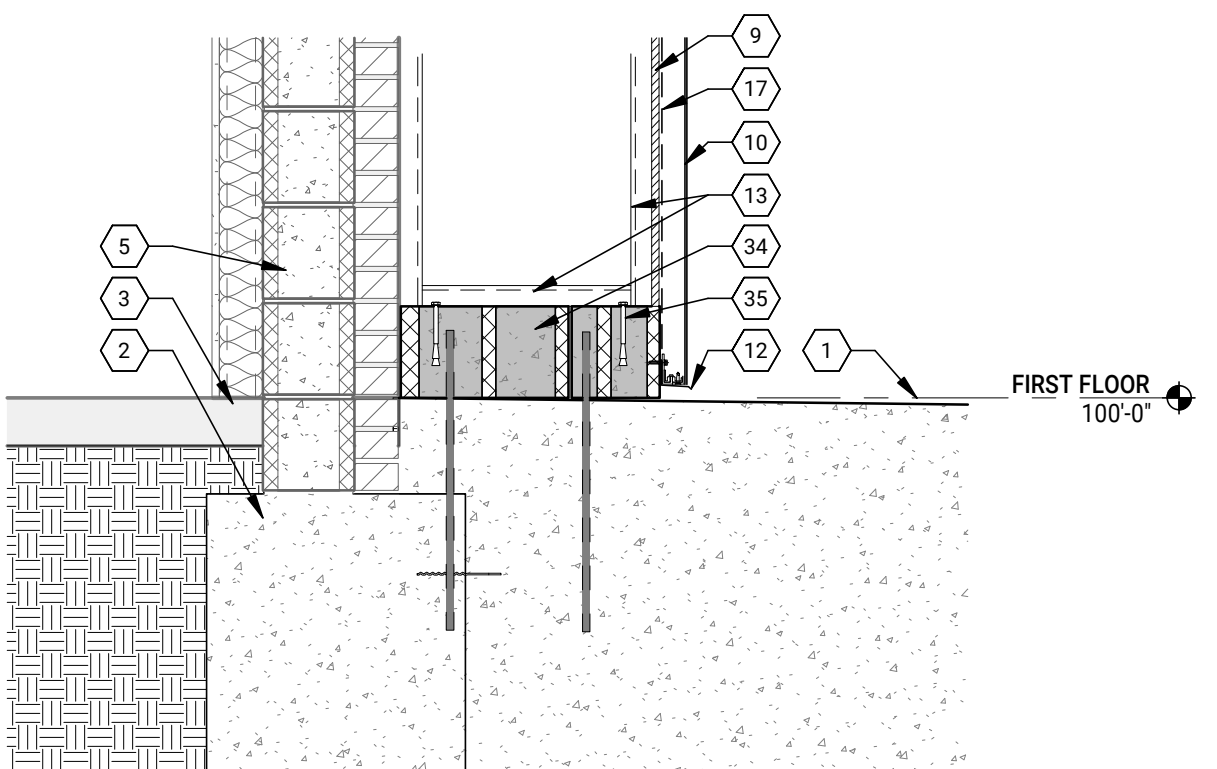
6 SECTION DETAIL
A3.1 1 1/2" = 1'-0" @ FRONT FACADE PORTAL HEAD



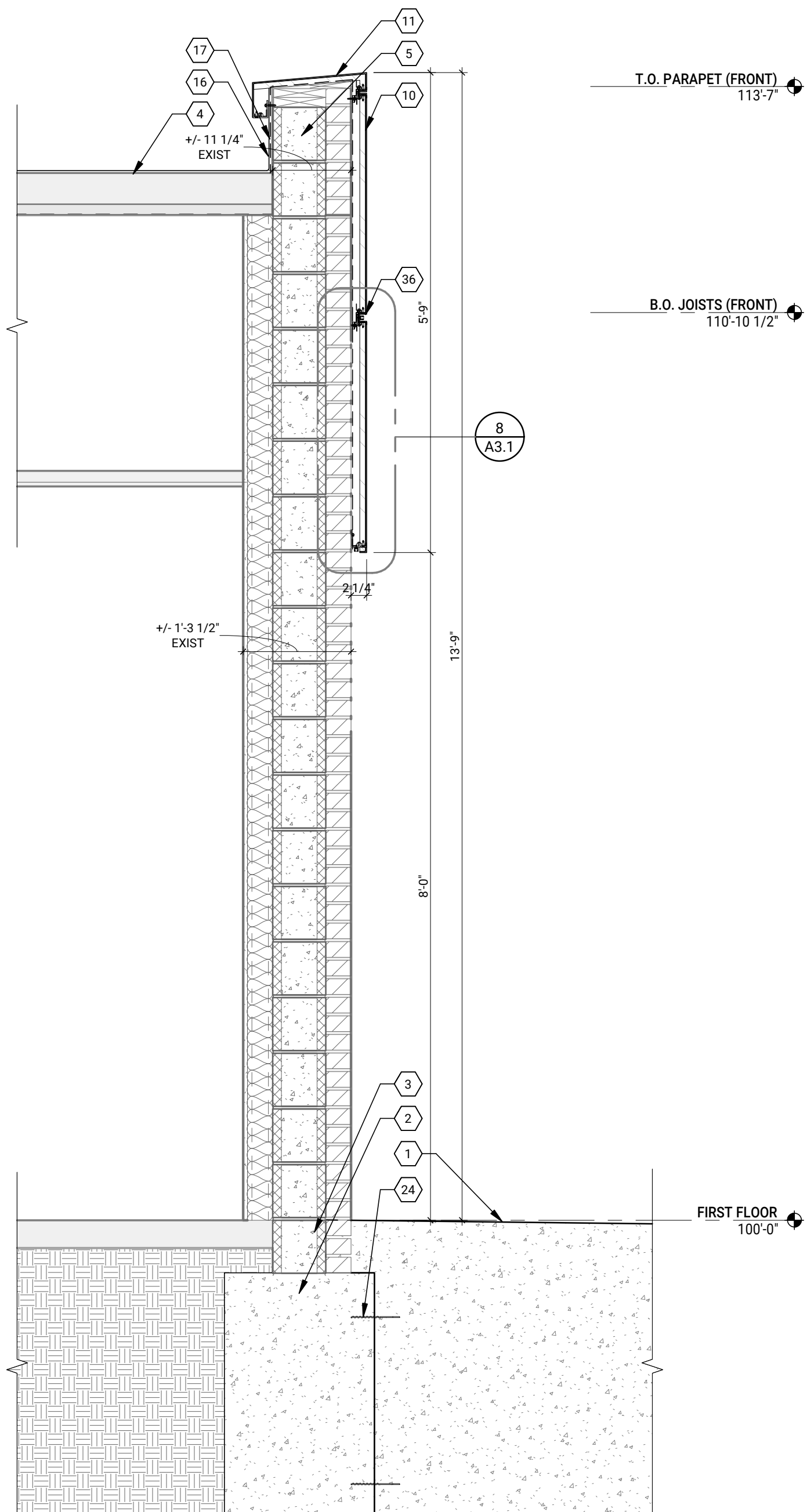
5 PLAN DETAIL
A1.1 1 1/2" = 1'-0" @ FRONT FACADE PORTAL



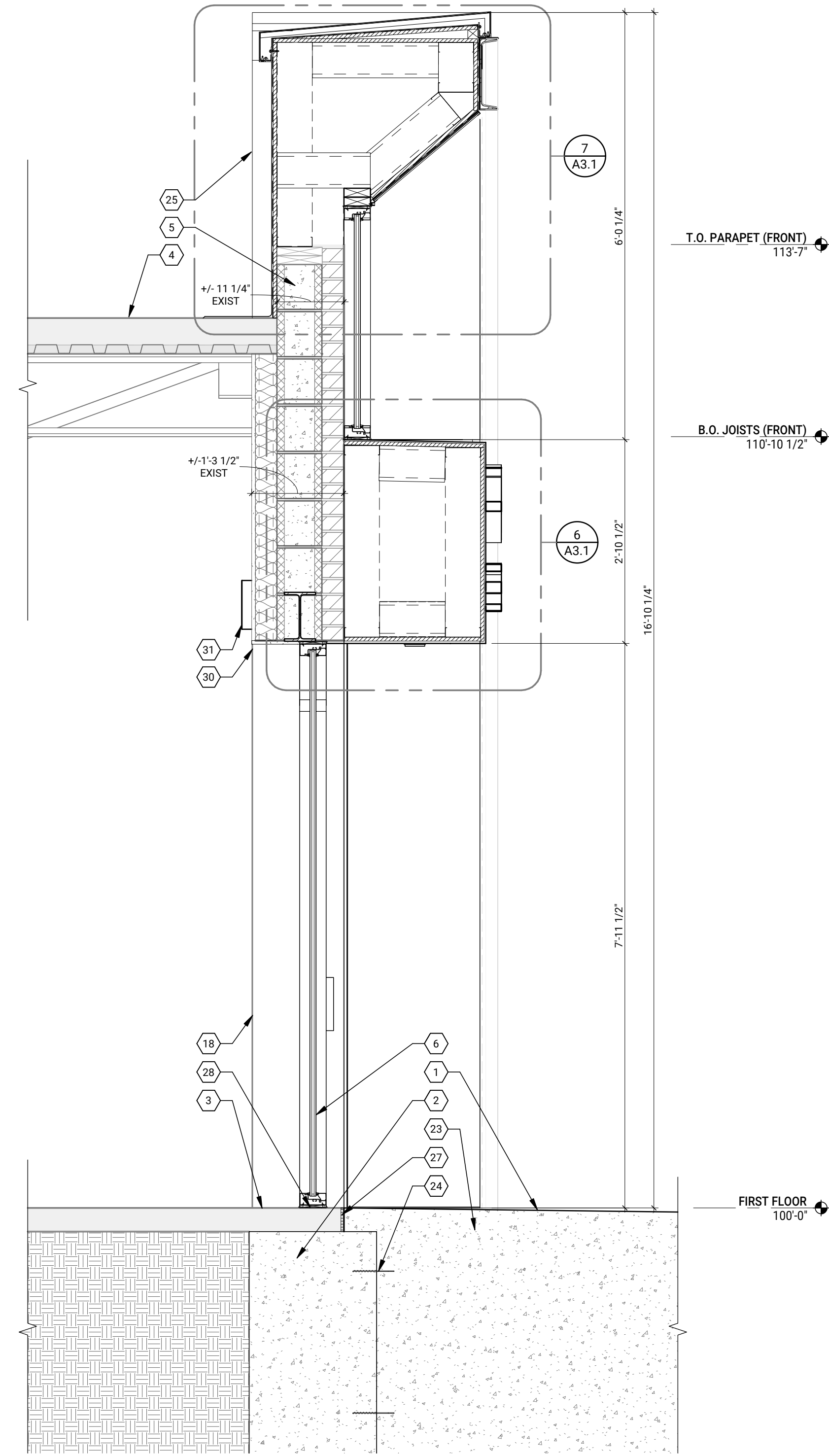
4 SECTION DETAIL
A3.1 3/4" = 1'-0" @ FRONT FACADE PORTAL CUT AT C-CHANNEL



3 SECTION DETAIL
A3.1 3/4" = 1'-0" @ FRONT FACADE PORTAL CUT @ ACM



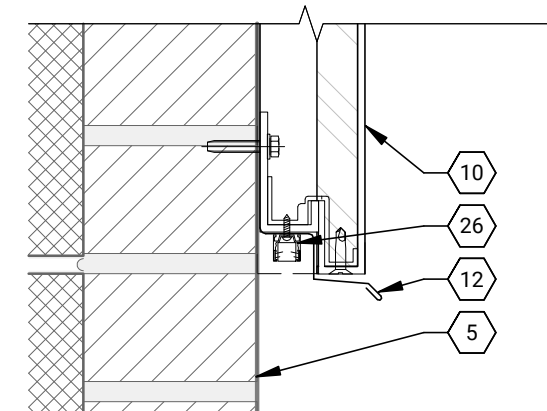
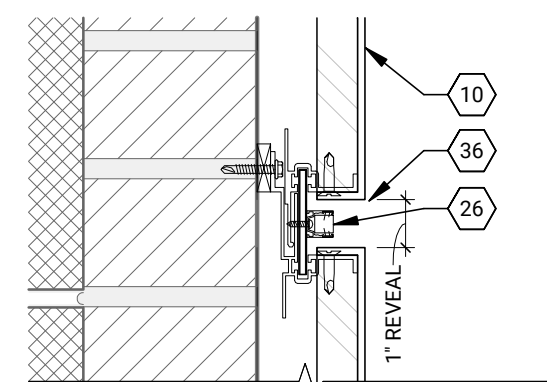
2 EAST FACADE WALL SECTION
A1.1 3/4" = 1'-0"



1 FRONT FACADE WALL SECTION
A1.1 3/4" = 1'-0"

WALL SECTION KEY NOTES: (TYPICAL THIS SHEET ONLY)

- INDICATES GRADE LINE
- EXISTING FOUNDATION TO REMAIN; GC TO VERIFY CONDITION AND COORDINATE W/ ARCHITECT
- EXISTING CONCRETE SLAB TO REMAIN
- EXISTING ROOF CONSTRUCTION TO REMAIN
- EXISTING STUD + CMU + BRICK WALL CONSTRUCTION TO REMAIN; CONTRACTOR TO CLEAN, INSPECT, AND PROVIDE MASONRY REPAIR AND TUCKPOINTING AS REQUIRED AT EXISTING BRICK AND BLOCK LOCATIONS
- GLASS AND ALUMINUM STOREFRONT SYSTEM; SEE FRAME ELEVATIONS
- EXISTING LINTEL TO REMAIN
- ALUMINUM PLANK LONGBOARD CLADDING SYSTEM; SEE LIST OF MATERIALS
- 5/8" EXTERIOR GRADE SHEATHING
- NEW ALUMINUM COMPOSITE PANEL SYSTEM (RAIN SCREEN AS SPECIFIED); SEE MATERIAL SCHEDULE
- NEW INTEGRAL ACM COPING, CAULK ALL SKYWARD JOINTS; CONTRACTOR TO INSPECT AND PROVIDE CONTINUOUS WEATHERPROOFING MEMBRANE TO WORK IN CONJUNCTION W/ EXISTING ROOF MEMBRANE
- NEW FLASHING W/ DRIP EDGE AND CONT. SEALANT
- COLD FORMED METAL FRAMING CONSTRUCTION; DESIGN BY SPECIALTY CONTRACTOR ENGINEER
- C12 X 25 CARBON STEEL CHANNEL; PAINTED EP-1
- MRT AND FRT WOOD BLOCKING
- PROVIDE NEW SINGLE PLY ROOF MEMBRANE TO WRAP UP AND OVER NEW PARAPET; PROVIDE TRANSITION MEMBRANE AT EISTING ROOF OVERLAP PER MANUFACTURER'S RECOMMENDATIONS
- AIR / MOISTURE BARRIER AS SPECIFIED
- EXISTING WALL BEYOND
- SHIM SPACE W/ BACKER ROD AND SEALANT
- NEW GLASS AND ALUMINUM STOREFRONT SYSTEM IN EXISTING OPENING; CONTINUOUS SEALANT ALL SIDES; SEE FRAME ELEVATIONS
- NEW PREFINISHED BRAKE METAL FLASHING; FINISH TO MATCH EP-1
- BUILDING MOUNTED SIGNAGE; COORDINATE POWER REQUIREMENTS W/ APPROVED SIGNAGE DRAWINGS
- NEW MASS POUR CONCRETE FOUNDATION; 42" DEEP MIN.
- #5 REINFORCING BARS @ 24" O.C. DRILLED AND ANCHORED INTO EXISTING FOUNDATION W/ HILTI HY 200 ADHESIVE ANCHORS
- FRONT FACADE PORTAL BEYOND
- NEW LED (L1) ON ALUMINUM SURFACE MOUNTING CHANNEL TO MATCH EP-1; SEE LIGHTING FIXTURE SCHEDULE ON (A1.1)
- 1/2" PREFORMED EXPANSION JOINT MATERIAL
- NEW ALUMINUM DOOR THRESHOLD
- SEALANT JOINT
- EXISTING STEEL LINTEL
- NEW LOCATION OF SALVAGED EXIT SIGN
- COLD FORMED BOX HEADER BY SPECIALTY CONTRACTOR ENGINEER
- 3/4" STEEL FLEX STRAPPING WELDED TO BACK OF STEEL C-CHANNEL; ANCHORED TO PLYWOOD; NO VISIBLE FASTENERS ON CHANNEL
- SINGLE CMU COURSE ON GRADE LINE GROUTED SOLID AS INDICATED
- ANCHOR BOLT OR OTHER CONNECTION AS REQUIRED; METAL STUD TO CMU
- 1" ACM JOINT REVEAL AT INDICATED HORIZONTAL LOCATION TO PROVIDE SPACE FOR L1; SEE A2.1 FOR COMPLETE EXTENTS



8 SECTION DETAIL
A3.1 3" = 1'-0" @ ACM SILL & JOINT

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CLIENT

ERIN DOAN
CHIEF INNOVATION OFFICER
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517.944.1584

PROJECT

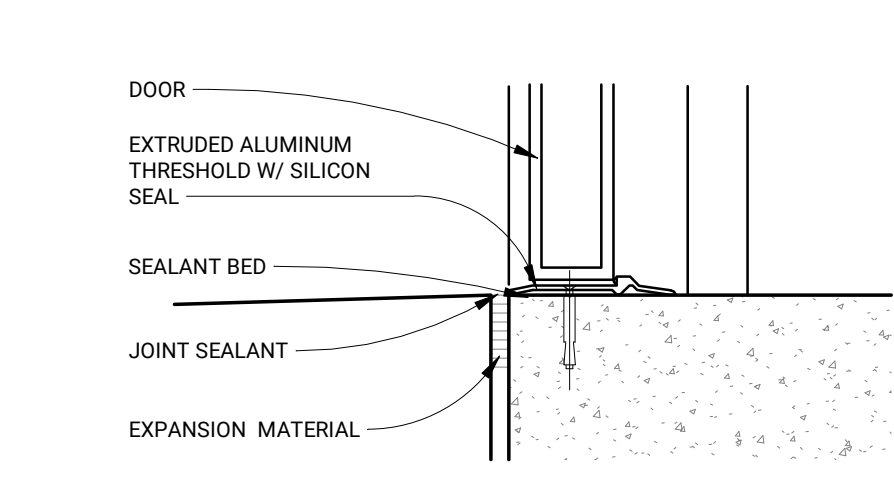
POWER SOLUTIONS
FACADE RENOVATION
18377 E. 14 MILE RD.
FRASER, MI 48026

PROJECT NO. 24036

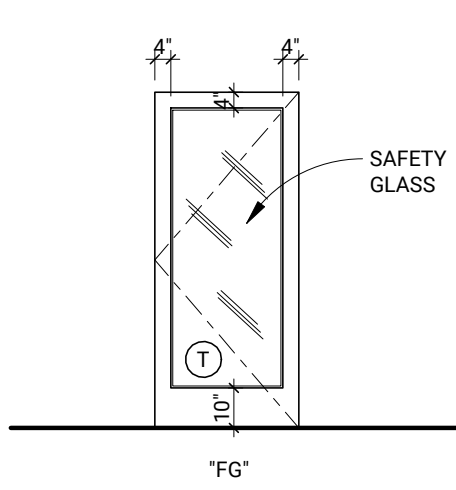
WALL SECTIONS/DETAILS DETAILS

A3.1

- NOTES:
1. PROVIDE SHIM/CAULK SPACE PER MANUFACTURERS RECOMMENDATIONS
 2. PROVIDE SEALANT & BACKER ROD (ALL SIDES)
 3. PROVIDE ALUM. SILL PAN FLASHING AT ALL SILLS
 4. INSTALL ALL GLAZING, STOREFRONT, ASSOCIATED COMPONENTS, INDICATED OR NOT, REQUIRED TO PROVIDE A COMPLETE, WATER-TIGHT STOREFRONT SYSTEM
 5. GLAZING SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH CHAPTER CHAPTER 26 OF THE MICHIGAN BUILDING CODE. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND TEST REPORTS CERTIFYING COMPLIANCE.
 6. SAFETY GLAZING SHALL BE TESTED IN ACCORDANCE WITH CPSC 16CFR 1201 TYPE I OR TYPE II AS REQUIRED
 7. ALL FRAMING MEMBERS SHALL BE ANODIZED ALUM.
 8. "CURTAINWALL" TO BE KAWNEER 1600 SYSTEM 2 OR APPROVED EQUAL, "STOREFRONT" TO BE TR-FAB 451 OR APPROVED EQUAL.

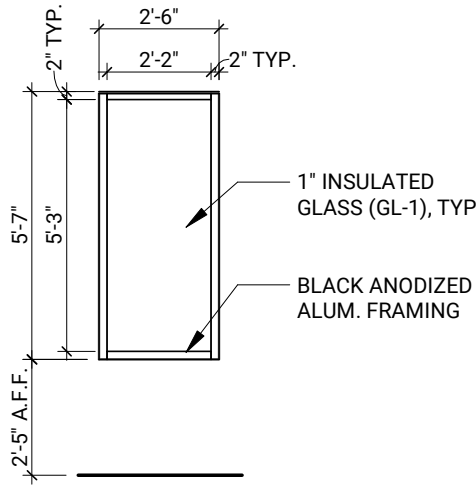


1
TYP ALUMINUM DOOR THRESHOLD
3" = 1'-0"

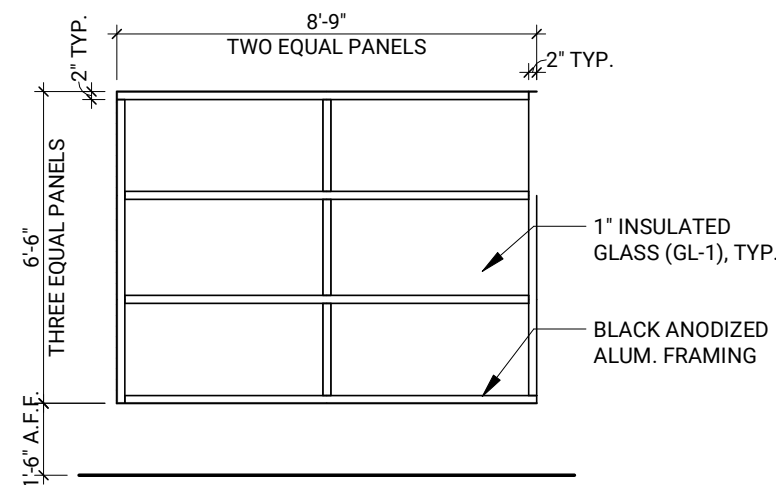


DOOR TYPES

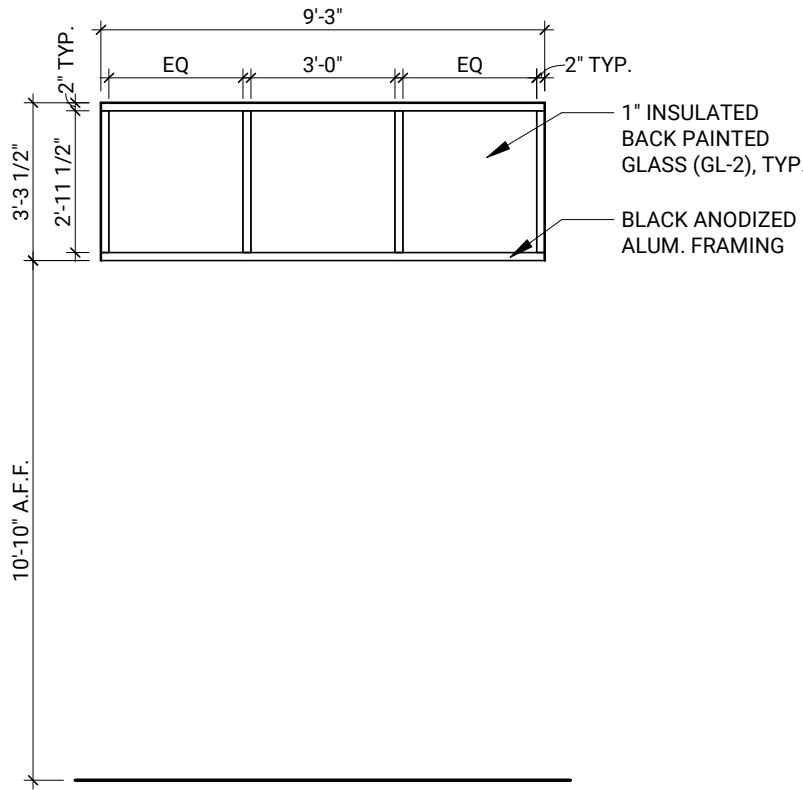
DOOR SCHEDULE												
NUMBER	ROOM NAME	DOOR SIZE	HARDWARE SET	DOOR			FRAME			THRESHOLD TYPE	LABEL	REMARKS
				MAT'L	FINISH	TYPE	MAT'L	FINISH	TYPE			
101	LOBBY	(NEW)3'-0"x7'-0"	-	ALUM	BLK ANOD	FG	ALUM	BLK ANOD	SF1	ADA (ALUM)		
102	RESTROOM	(EXIST)3'-0"x7'-0"	-	EXIST	EXIST	F	EXIST	EXIST	-	-		
103	OFFICE	(EXIST)3'-0"x7'-0"	-	EXIST	EXIST	F	EXIST	EXIST	-	-		
104	OFFICE	(EXIST)3'-0"x7'-0"	-	EXIST	EXIST	F	EXIST	EXIST	-	-		
105	PRINTING/ COPYING	(EXIST)3'-0"x7'-0"	-	EXIST	EXIST	F	EXIST	EXIST	-	-		
106	OFFICE	(EXIST)3'-0"x7'-0"	-	EXIST	EXIST	F	EXIST	EXIST	-	-		



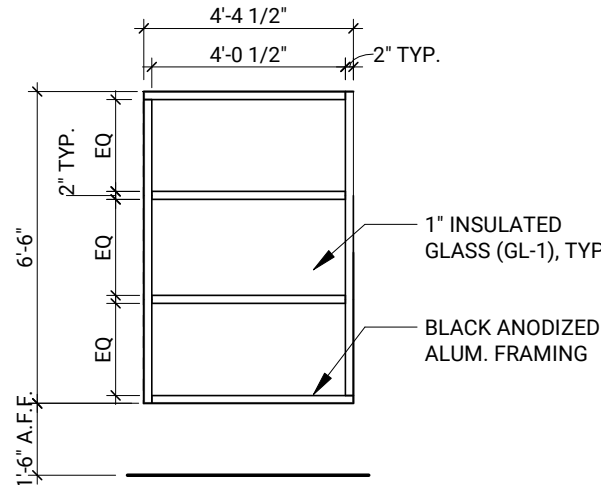
STOREFRONT
SF5



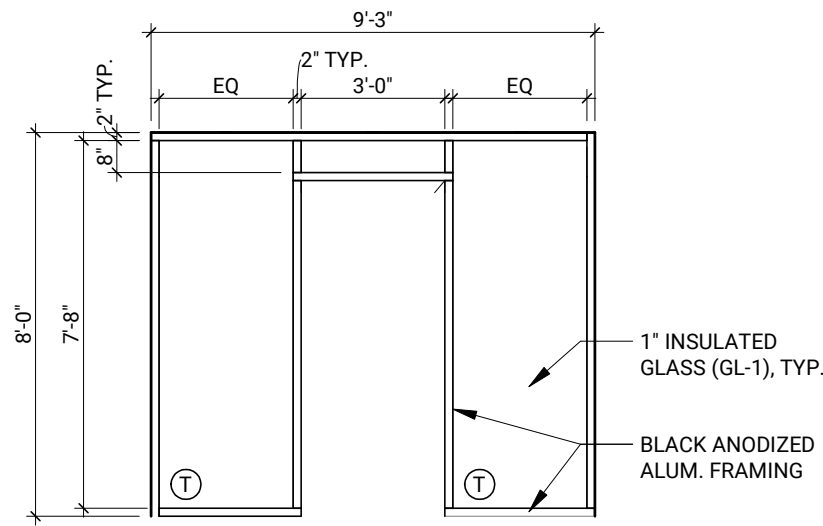
STOREFRONT
SF4



STOREFRONT
SF3



STOREFRONT
SF2



STOREFRONT
SF1

LIST OF MATERIALS	
074213 - METAL WALL PANELS	
ACM-1	ALUMINUM COMPOSITE MATERIAL MANUFACTURER: ALPOLIC COLOR: TBL BLACK; 3-TBL-70 SIZE: 3MM LOCATION: EXTERIOR FOR ENTRY PORTAL GENERAL NOTES: ACM BY VENDOR PROVIDE 5/8" THICK SUBSTRATE
ACM-2	ALUMINUM COMPOSITE MATERIAL MANUFACTURER: ALPOLIC COLOR: BLX BLACK; 3BLX-30 SIZE: 3MM LOCATION: EXTERIOR SURROUNDING FACADE GENERAL NOTES: ACM BY VENDOR PROVIDE 5/8" THICK SUBSTRATE
MTL-1	ALUMINUM PLANK MANUFACTURER: LONGBOARD PRODUCTS PRODUCT: V-GROOVE PLANKS COLOR: LIGHT CHERRY; 1SLCY SIZE: 2 1/2"; 3V.145 LOCATION: EXTERIOR FOR ENTRY PORTAL GENERAL NOTES: PROVIDE ALL NECESSARY FLASHING, TRIMS, AND ACCESSORIES FOR A COMPLETE INSTALLED SYSTEM
088000 - GLAZING	
GL-1	EXTERIOR GLAZING MANUFACTURER: VITRO ARCHITECTURAL GLASS PRODUCT: SOLARBAN 70 (2) + CLEAR LOCATION: EXTERIOR GLAZING GENERAL NOTES: 1" INSULATED UNIT, PROVIDE LOW-E COATING ON 2ND SURFACE
GL-2	EXTERIOR GLAZING MANUFACTURER: VITRO ARCHITECTURAL GLASS PRODUCT: SOLARBAN 70 (2) + CLEAR LOCATION: EXTERIOR GLAZING - ENTRY PORTAL UPPER PORTION GENERAL NOTES: BACK PAINTED BLACK
099113 - EXTERIOR PAINT	
EP-1	EXTERIOR GRADE PAINT MANUFACTURER: SHERMAN-WILLIAMS COLOR: BLACK MAGIC SW6991 TYPE / STYLE: GLOSS LOCATION: STEEL FRAMING
MISCELLANEOUS	
FLASH	FLASHING, FASCIA, THRU WALL FLASHING, GUTTERS AND DOWNSPOUTS MANUFACTURER: LOCAL MFR COLOR: MANUFACTURER STANDARD COLOR TO MATCH EP-1 LOCATION: - GENERAL NOTES: -

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DETROIT
ARCHITECTS

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STUDIO-DETROIT.COM

PROJECT MANAGER

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517.944.1584

PROJECT

POWER SOLUTIONS
FACADE RENOVATION

18377 E 14 MILE RD
FRASER, MI 48026

PROJECT NO. 24036

DOOR/FRAME
ELEVATIONS /
MATERIALS

A4.1



City of Fraser

CENTENNIAL COMMUNITY

CITY MANAGER
Elaine Leven
CITY CLERK
August Gitschlag

MAYOR
Michael Lesich
MAYOR PRO-TEM
Dana Sutherland
COUNCIL
Amy Baranski
Patrick O'Dell
Kenny Perry, Jr.
Patrice Sutherland
Sherry Stein

To: Zoning Board of Appeals

Date: 12/12/2024

From: Deputy Clerk Greenia

Re: Interview of Candidate

The City of Fraser Zoning Board of Appeals consists of seven (7) members who are registered electors of the City. There is currently one vacant seat on the Board.

After consideration of some candidates, Chairman Farina reached out to a Fraser resident who has agreed to serve on this Board.

Tonight, the Zoning Board of Appeals will interview Scott Wahl for this vacancy. If the Board agrees after the interview to recommend him for appointment to the ZBA this will then go to City Council. This vacancy has a term end date of 12/31/2025.

APPLICATION FOR APPOINTMENT TO CITY BOARDS & COMMISSIONS

APPLICATION MAY BE SUBJECT TO PUBLIC VIEW



www.MICityOffFraser.Com

City of Fraser
33000 Garfield Road
Fraser, MI 48026
(586) 293-3100

cityclerk@micityoffraser.com

LAST NAME		FIRST NAME		M.I.	
Wahl		Scott		A	
ADDRESS (number & street)					
CITY	STATE	ZIP CODE	CELL PHONE	HOME PHONE	
Fraser	MI	48026		Same	
NAME OF BOARD/COMMISSION YOU ARE APPLYING FOR				TERM ENDING (IF KNOWN)	
Board Name - Zoning Board of Appeals					
REASON FOR INTEREST IN THIS BOARD (please list activities & special qualifications)					
Desire to give something back to my community. Work City of Fraser elections as Precinct Chair.					
EDUCATION (please list schools, diplomas, degrees, professional certificates, etc.)					
BA - Supply Chain Management Design for Six Sigma - Black Belt					
CURRENT EMPLOYMENT					
COMPANY NAME			YOUR TITLE/POSITION		
Retired					
COMPANY ADDRESS (number & street)					
CITY	STATE	ZIP CODE	OFFICE PHONE	OFFICE CELL PHONE	
PLEASE LIST YOUR RESPONSIBILITIES					

PLEASE ATTACH YOUR RESUME OR OTHER INFORMATION AND RETURN TO CITY HALL OR EMAIL CITYCLERK@MICITYOFFRASER.COM

Rev 11/2017

Received by _____ Date _____

Scott Wahl

Senior Business Process Engineer

Fraser, MI



[linkedin.com/in/mr-scott-wahl](https://www.linkedin.com/in/mr-scott-wahl)

CAREER PROFILE:

Senior Business Process Engineer specializing in Finance Cost Engineering and Procurement optimization. Utilize knowledge of theory, principles and technology to define needs and address issues, conduct research, perform studies and surveys to obtain data for analysis. Advised and made recommendations on business operating procedural enhancements and technical software improvements.

AREAS OF EXPERTISE | STRENGTHS:

Cost Data Analysis
Analytical Thinking

Attention to Detail
Data Research

Active Listening
Business Intelligence

Benchmarking Analysis
Negotiation

CAREER HIGHLIGHTS:

City of Fraser, **Election Staff (Fraser, Michigan)**

Nov 2023 to Current

- Participated in local and national elections and took on added responsibility of Precinct Chair for August 2024 primary and November general election

Self-Employed, **Shop & Deliver (Fraser, Michigan)**

Jan 2020 to May 2024

- Actively shop and deliver grocery orders to community members homes with on time service, attention to detail in product selection and high customer service by communicating shop and delivery status
- Record and analyze every shop and delivery order for continuous improvement in time spent shopping and areas of opportunity for high customer satisfaction

Self-Employed, **Semi-retired**

Feb 2019 to Jan 2020

GENERAL MOTORS, **Senior Business Process Engineer (Warren, Michigan)**

Apr 2008 to Feb 2019

- Led Master Data Management (MDM) team for commercially off the shelf (COTS) cost estimating software
- Global development team member that was responsible for the on time launch and semi-annual product enhancements for the COTS software across the enterprise
- Created dashboards utilizing MS EXCEL Power Pivot for quick reference analysis of project cost estimates including Cost Engineer input parameters, master data selections and calculated totals
- Customized Role-Based Access Control (RBAC) reducing new user setup and maintenance by 35 percent
- Recognized as data and configuration subject matter expert in Root Cause Analysis (RCA) of user communicated software issues
- Led master data management team in parametric data conversion of 500,000+ master data records from SQL Express material cost estimating software into the COTS software
- Performed 'train the trainer' sessions to the regional trainers on COTS software MDM, RBAC and procedural change to an existing standard operating procedure (SOP)
- Led global business development, launch, product enhancements and eventual sunset of .NET framework SQL Express material cost estimating software utilizing lessons learned from prior sunset material cost estimating software's (EXCEL VBA and JEE Oracle)
- Customized SQL Express cost estimating inputs and calculations for material, labor, burden after conducting business user workshops to document workflow models, user scenarios and use cases
- Wrote user acceptance test cases for product enhancements and identified root cause of issues with test case(s) during User Acceptance Testing (UAT) with business users

GENERAL MOTORS, *Cost Engineer Manager (Warren, Michigan)***Feb 2007 to Apr 2008**

- Managed cost model input parameter development for plastic interior and exterior components and assemblies, metallic interior and exterior components and assemblies, and interior soft trim assemblies
- Led master data team in establishing processes and procedures in researching, adding, updating 100+ manufacturing process cost models, 5000+ material component parameters and cost, 200+ machine parameters and cost, 86 country economic data factors, 26 hourly base labor rates and labor fringe cost
- Established development team to create MS EXCEL VBA material cost estimating software from lessons learned of JEE Oracle material cost software
- Listened to voice of cost engineering customers in software development cycle for MS EXCEL VBA material cost estimating software
- Interfaced with global cost engineering and supplier development leaderships to train 500+ users in the usage of material cost engineering software
- Coordinated development and training of 300+ buyers in understanding sources of the master data for the material cost estimates being generated by cost engineering department

GENERAL MOTORS, *Purchasing Manager (Troy, Michigan)***Jun 2003 to Feb 2007**

- Managed \$10 Million bundled contract services budget and reported monthly budget forecast to leadership
- Business Owner of material cost analysis software for automotive and powertrain components resulting in \$55 Million savings in re-negotiated contract changes
- Interfaced with global Purchasing Supplier Development team in training and usage of material cost software
- Led master data group performing research, creation of and updates to independent data standards referenced during supplier contract negotiations
- Participated in contract negotiations when independent data standards were questioned as well as machine manufacturers recommended cycle time
- Established component part tooling cost ranges as team leader prior to design direction review of major purchased automotive part components through creation of tooling BOM/BOP which accounted for 75 percent of the vehicle program tooling cost expenditure
- Led JEE Oracle master data team in research, creation and update of 100+ manufacturing process cost models, 5000+ material component parameters and cost; 200+ machine parameters and cost; 86 country economic data factors; 26 hourly base labor rates and labor fringe cost in local country currency; and vendor tooling subsystem base cost standards
- Managed development, launch and enhancement of Citrix Microsoft Access material cost analysis software for automotive and powertrain components
- Formulated standard purchasing policies and procedures for quote proposals and procurement of goods and services to include key performance indicators (KPIs)
- Reviewed request for quote packages included request for regional or international freight, customs and duty and other information to be in compliance with purchasing policies terms and conditions
- Questioned buyers' understanding of the Bill of Material (BOM) to Bill of Process (BOP) relationship engineering was proposing and if it was in alignment with benchmarking data
- Researched and evaluated suppliers, based on should cost analysis, quality, service, support, availability, reliability, production and distribution capabilities, and supplier's historical reputation
- Evaluated and monitored buyers' decks to ensure their suppliers were in compliance with KPI's in contractual obligations for quality, delivery and price and if changes in a supplier was warranted
- Created a dashboard that summarized SAP purchased items, purchase contract engineering change cost history, on time delivery performance, and supplier quality instances are within KPI targets

HONORS | AFFILIATIONS:

General Motors Chairman's Honor Award for outstanding cost savings achievement

EDUCATION | CERTIFICATION:**Bachelor of Arts (BA), Supply Chain Management***Michigan State University, East Lansing, MI***Design for Six Sigma – Black Belt***General Motors*



Memorandum

TO: Fraser Zoning Board of Appeals
FROM: Lauren Sayre, AICP
SUBJECT: Election of Officers, Zoning Board of Appeals
DATE: December 23, 2024

This memo provides an overview of the process for election of offices. This information is sourced from the Zoning Board of Appeals By-Laws as amended November 7, 2019.

ELECTION OF OFFICERS

Nomination

Officers shall be nominated orally at the election meeting, which shall be held at the first scheduled meeting in January or, if no meeting is held, the first meeting of the Board thereafter. Only those members present for the election are eligible for nomination. However, the election may be postponed by a majority of those present in order to allow an opportunity for additional members to be present. In such instance, if willing and able, officers shall continue to serve in their roles until their successors are elected.

Nominees shall accept or decline the nomination prior to the vote for such office.

Election

Below is the process for electing officers.

1. Election for each office shall be held immediately after nominations for that office.
2. The election shall be by oral vote.
3. A simple majority of the Board members voting is needed to elect an officer.
4. In the case of two consecutive tie votes for an office, the election for that office shall be postponed until the next regular meeting.
5. In the event only one Board member is nominated for any office, the Board may dispense with the voting process and declare that position filled by acclamation.



OFFICERS

The Zoning Board of Appeals must elect the following offices.

Officer	Responsibility/Authority
Chairperson	A. The Chairperson shall be the chief executive officer of the Board and shall preside at all meetings of the Board. The Chairperson shall appoint all committees or advisory committees established and provided for by the Board and shall be an ex-officio member of all committees. B. The Chairperson shall have the right and duty to vote as a Board member on all matters before the Board. C. The Chairperson shall have the right to introduce a motion as any other Board member. D. The Chairperson shall attest to the official minutes. E. The Chairperson shall perform all the additional duties and responsibilities which are a normal part of that office.
Vice-Chairperson	A. The Vice-Chairperson shall assume all duties of the Chairperson during any period of absence or disability of the Chairperson. B. The Vice-Chairperson shall work with the City Administration to prepare an annual report in accordance with Article IX.
Secretary	A. The Secretary shall, with the assistance of the City staff, keep the minutes and records of the Board, prepare the agenda of regular and special meetings with the Chairperson, provide notice of meetings to Board members, notify the City Clerk relative to the proper and legal notice of hearings, receive and respond to correspondence as directed by the Board, maintain records of attendance for members of the Board, affix his/her signature to all correspondence, arrange publications on behalf of the Board, and perform such other duties as are normally carried out by the Secretary. B. The Secretary shall sign official minutes approved by the Board, routine correspondence of the Board, and other documents requiring certification. Resolutions approved by the Board shall be signed by the Secretary and the Chairperson. C. If the elected Secretary is not in attendance at a meeting, the Chairperson may appoint a temporary Secretary to perform the duties of Secretary at that meeting. D. In the event of the absence or inability of the Chairperson and the Vice-Chairperson to discharge the duties of the Chairperson, the Secretary shall appoint a temporary Chairperson. E. The Secretary shall call the roll for all roll call votes, and shall track affirmative and negative votes for all motions to assist the Chairperson with determining whether the measure passes or fails.

OFFICERS TERM

- F. All officers shall serve for a term of one (1) year or until successors are elected.
- G. All current officers of the Board shall be eligible for re-election or for any vacancy of office.
- H. No member of the Board shall hold more than one elected office at any given time.

2023 & 2024 OFFICERS

The table below is for reference only, as the ZBA is not term restricted.

Office	2023	2024
Chairperson	Mark Stimac / Frank Farina	Frank Farina
Vice-Chairperson	Frank Farina / Michael Lesich	Mark Burley
Secretary	Rosanne Menedez	Rosanne Menedez

Planning Commission and Zoning Board of Appeals

2024 Annual Planning and Zoning Report to City Council

City of Fraser, MI

INTRODUCTION AND PURPOSE OF THE ANNUAL PLANNING REPORT

As required per the Michigan Planning Enabling Act (MPEA) Act 33 of 2008, as amended, the Planning Commission shall submit a report of its 2024 activities to the Fraser City Council:

“A planning commission shall make an annual written report to the legislative body concerning its operations and the status of planning activities, including recommendations regarding actions by the legislative body related to planning and development.”

In addition to fulfilling this requirement, the Annual Report increases information-sharing between staff, boards, commissions, and the governing body and assists with these entities with anticipating, preparing, and budgeting for upcoming priorities.

PLANNING COMMISSION MEMBERSHIP

The following citizens dedicated their time to serving the City of Fraser as Planning Commissioners in 2024:

- Frank Farina, ZBA Liaison
- Joann Barr
- John Keil
- Kathy Czarnecki, Chairperson
- Randy Warunek, Vice Chairperson
- Renee Meyer, Secretary
- Trevor Tuller

PLANNING COMMISSION MEETINGS

The Fraser Planning Commission met eleven times in 2024. This meets and exceeds the requirements of the MPEA, which requires a minimum of four meetings annually.

1. Wednesday, January 3, 2024
2. Wednesday, February 7, 2024
3. Wednesday, March 6, 2024
4. Wednesday, April 3, 2024
5. Wednesday, May 1, 2024
6. Wednesday, June 5, 2024
7. Wednesday, July 15, 2024
8. Wednesday, August 7, 2024
9. Wednesday, October 2, 2024
10. Wednesday, November 6, 2024
11. Wednesday, December 4, 2024

ZONING BOARD OF APPEALS MEMBERSHIP

The following citizens dedicated their time to serving the City of Fraser as Zoning Board Members 2024:

- Emma Stasek
- Frank Farina, Chairperson, PC Liaison
- Joseph Chimenti
- Mark Burley, Vice Chairperson
- Patrick Green
- Rosanne Menendez, Secretary

ZONING BOARD OF APPEALS MEETINGS

The Fraser Zoning Board of Appeals met nine times in 2024.

1. Thursday, January 18, 2024
2. Thursday, March 7, 2024
3. Thursday, April 4, 2024
4. Thursday, May 2, 2024
5. Thursday, July 18, 2024
6. Thursday, August 1, 2024
7. Thursday, September 5, 2024
8. Thursday, November 7, 2024
9. Thursday, December 5, 2024



2024 in Review

The following tables outline the various development reviews (site plan, special land use, etc.) considered by the Planning Commission and variances that were considered by the Zoning Board of Appeals in 2024. Variances are reported to reflect on potential challenges or obsolete regulations within the existing Zoning Ordinance, and to possibly inform future direction for the Planning Commission.

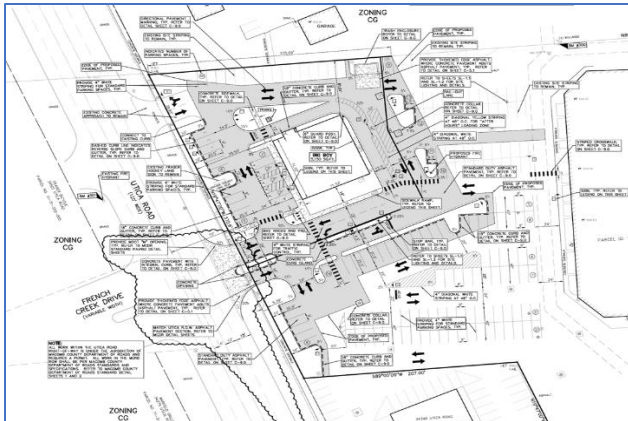
DEVELOPMENT REVIEWS

City ID	Project Type	Location	Description	Status	Date
RZ 23-02	Conditional Rezoning	32981 (32971) & 32875 Utica Road, Sheetz	Request to rezone two (2) parcels from Community Business District (CBD) to Commercial General (CG) for the purposes of constructing and opening a 24-hour fast food and gas station business.	PC recommend denial. City Council approved on October 30, 2024.	January 3, 2024
SLU 24-01	Special Land Use Review	34400 & 34500 Utica Road, Hockeyland/Big Boy	To modify the conditions of the special land use approval of 2/3/21 to operate a drive-through in the General Commercial District in front of Hockeyland.	Approved, with conditions	March 6, 2024
SP 24-01	Site Plan Review	34400 Klein Road, Foundations Solutions	To construct an additional driveway/parking lot and dumpster enclosure within the IR, Industrial Restricted District.	Approved, with conditions	June 5, 2024
SP 23-04	Site Plan Review	34575 Commerce Road, Kelly Commerce Center	Request to add outdoor storage of 25 school buses to the rear of the building.	Withdrawn	November 6, 2024
SP 24-02	Site Plan Review	31253 & 31285 Utica Road, Sunbelt Rentals	To construct a new parking and gravel storage area with an 8ft chain link fence.	Approved, with conditions	July 15, 2024
SP 24-03	Site Plan Review (Exterior Façade)	16000 15 Mile Road, Signature Square	Request to change the façade of the retail center, located in the CG, Commercial General District.	Approved	August 7, 2024
SP 24-05	Site Plan Amendment Review	34835 Utica Road, Meijer	Request to reduce parking spaces to create a new outlot development.	Approved	October 2, 2024
SLU 24-02 SP 24-04	Special Land Use / Site Plan Review	34625 & 34835 Utica Road, Mister Car Wash	To construct a new automatic tunnel car wash with exterior vacuum stalls and associated parking, on Meijer's property.	Approved, with conditions	December 4, 2024
SP 24-06	Site Plan Review (Exterior Façade)	32925 Groesbeck Highway, Fraser Optical	Request to change the façade of the retail center, located in the CG, Commercial General District.	Approved, with conditions	November 6, 2024

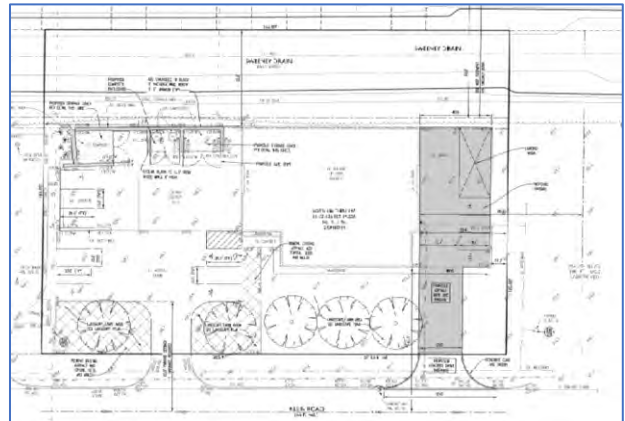


APPROVED DEVELOPMENTS

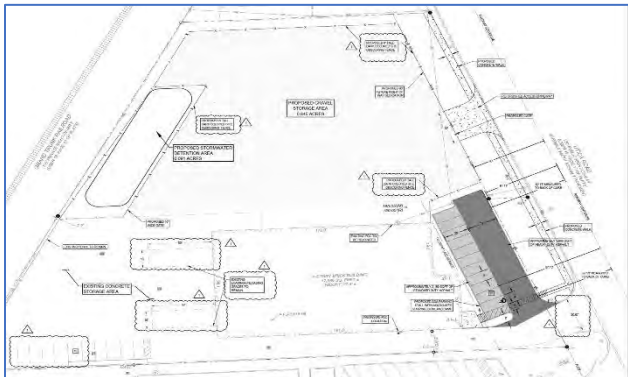
Below, please find a brief photo library of developments approved by the Fraser Planning Commission in 2024:



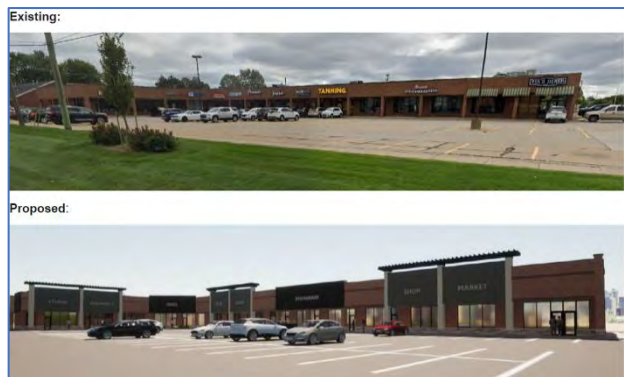
Special Land Use: Hockeyland/Big Boy (SLU 24-01)



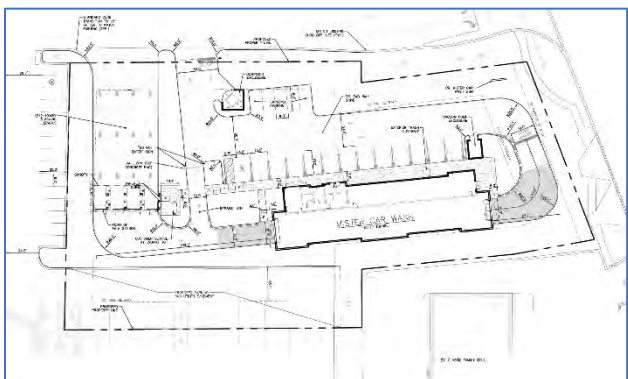
Site Plan Review: Foundation Solutions (SP 24-01)



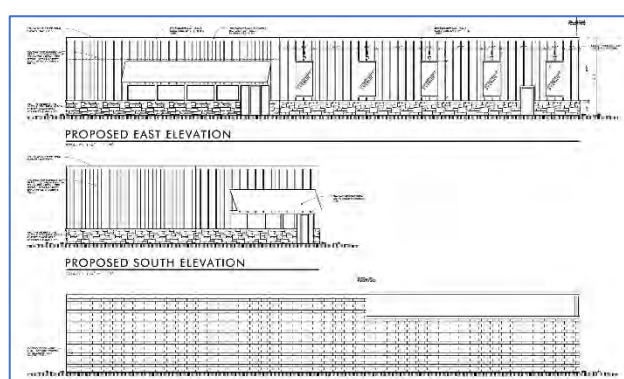
Site Plan Review: Sunbelt Rentals (SP 24-02)



Site Plan Review: Exterior Façade, Signature Square (SP 24-03)



Site Plan & Special Land Use Review: Mister Car Wash (SP 24-04, SLU 24-02)



Site Plan Review: Exterior Façade, Fraser Optical (SP 24-06)



ZONING APPEALS

City ID	Project Type	Location	Description	Status	Date
ZBA 23-05	Dimensional Variance	31471 Utica Road, Monticello	To increase the maximum sign area within the prohibited vertical dimensions of 4 ft. and 10 ft.	Approved	January 18, 2024
ZBA 24-01	Use Variance	16659 E. 14 Mile Road, Suite B, Schott's Market Storage Building	To allow a powder-coating business, which is allowed in the Industrial Restricted (IR) District in the Community Business District (CBD) District.	Denied	April 4, 2024
ZBA 24-02	Dimensional Variance	31253/31285 Utica Road, Sunbelt Rentals	To allow a front setback for parking (87.13ft requested) and a storage unit (51.6ft requested) in the Industrial Controlled (IC) District, which requires a 110ft parking setback; To allow a front setback for a fence in (51.6ft requested) in the IC District, which requires a 110ft parking setback.	Approved	May 2, 2024
ZBA 24-03	Dimensional Variance	3440 Klein Road, Foundation Solutions 360	To increase the existing nonconforming front parking setback from 63ft to 51ft in the Industrial Restricted (IR) District; To modify approved variance conditions of ZBA 22-03 that require a shared parking agreement with adjacent property owners.	Approved	May 2, 2024
ZBA 24-04	Dimensional Variance	34835 Utica Road, Meijer	To reduce the number of required off-street parking spaces for a commercial business from 1,079 parking spaces to 999 parking spaces (1,608 spaces required).	Approved	September 5, 2024
ZBA 24-05	Dimensional Variance	31253 Utica Road, Sunbelt Rentals	To allow a 10ft greenbelt planting strip along the north property line in the Industrial Controlled (IC) District, which required a 20ft greenbelt planting strip.	Approved, with conditions	August 15, 2024
ZBA 24-06	Use Variance	33420 Utica Road, Bearing Construction and Consulting, LLC	To allow construction of multiplex buildings consisting of seven two-family dwellings on site with associated parking in the Residential Medium – One Family (RM) District.	Approved, with conditions	November 7, 2024
ZBA 24-07	Dimensional Variance	34625/34835 Utica Road, Mister Car Wash	To allow the applicant to exceed the maximum allowed footcandle illumination measurement in a commercial use in the driveway (21 requested, 4 permitted), in the parking areas (21 requested, 4 permitted), and in walks (33 requested, 2 permitted).	Postponed	December 5, 2024

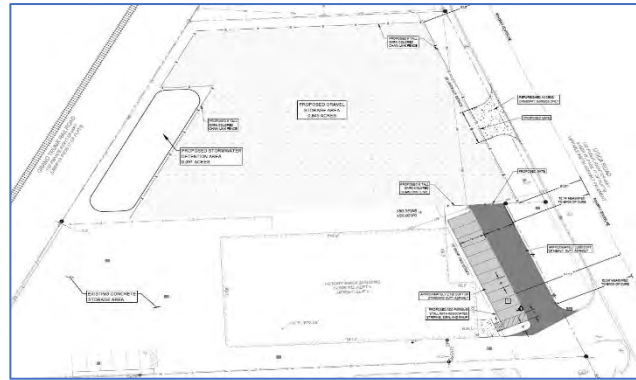


APPROVED VARIANCES

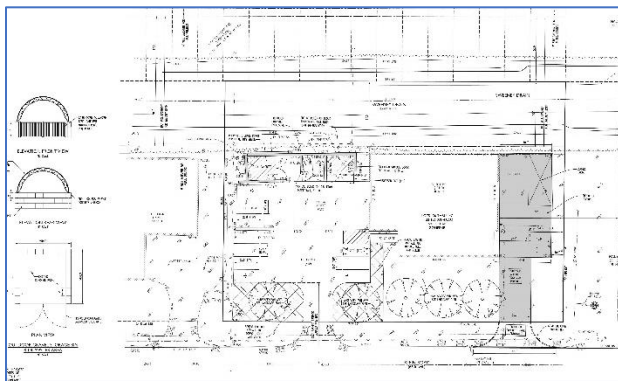
Below, please find a brief photo library of variances approved by the Fraser Zoning Board of Appeals in 2024:



Dimensional Variance: Sign Area, Monticello (ZBA 24-03)



Dimensional Variance: Setbacks for storage area/fence (ZBA 24-02)



Dimensional Variance: Front Parking Setback, Foundation Solutions (ZBA 24-03)



Dimensional Variance: Parking space reduction (ZBA 24-04)



Dimensional Variance: Greenbelt, Sunbelt Rentals (ZBA 24-05)

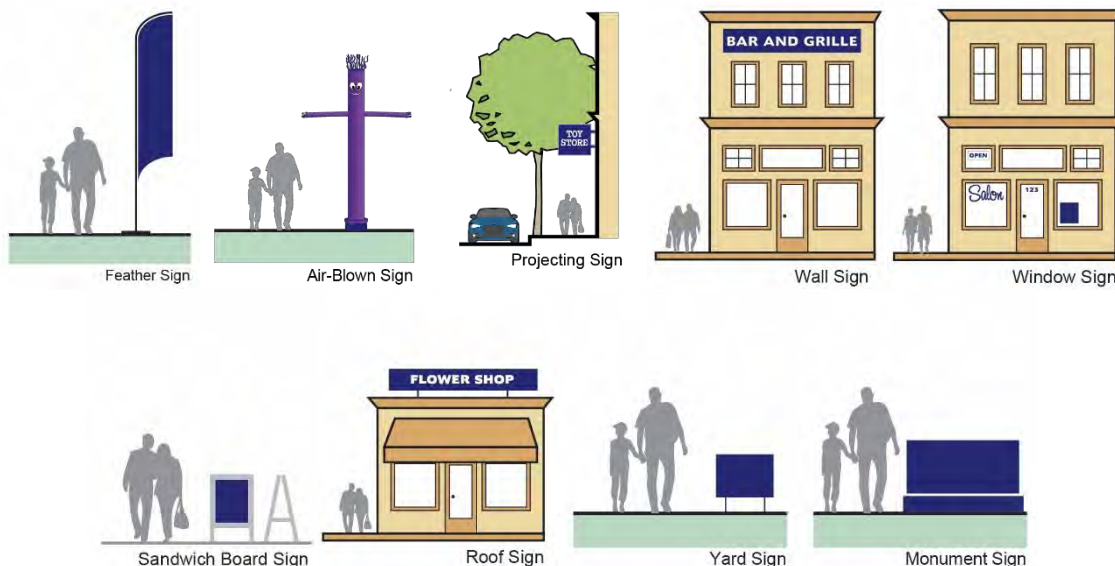


Use Variance: Two-family dwellings in RM District (ZBA 24-06)



ZONING ORDINANCE UPDATES

Ordinance Section	Overview	Status
Sec. 32-85 (Article 5)	To update the Sign Ordinance to bring it up to current practices and ensure compliance with recent Federal legislation.	Adopted November 14, 2024 by City Council.



ZONING ADMINISTRATION

The following section provides a high-level overview of the daily zoning administration activities. Below is a table of permits issued in 2024, which includes building, mechanical, plumbing, etc. as well as zoning related permits.

2024 Permits

Permit Type	Permits Issued
Fence	63
Patio	3
Concrete	61
Deck	9
Garage	1
Generator	24
Pool/Spa	7
Porch	2
Shed	4
Other	950
Total	1,124

In 2024, there were a total of **1,352** enforcements issued. Frequent enforcements were due to grass and weeds, work without permit, blight/nuisance, and certificate of occupancy violations.



LOOKING AHEAD: 2025 WORK PLAN

By preserving what Fraser already has, and enhancing those elements that can be improved, the city can continue to afford residents and visitors with a high-quality place to live, work and play.

In the coming year, the following are additional projects the Planning Commission may undertake:

MASTER PLAN UPDATE

The current 2021 Master Plan reflects 5-year planning goals and priorities, through 2026. Therefore, an update of the Master Plan will be pertinent in 2025.

2021 MASTER PLAN IMPLEMENTATION

Some of the high priority implementation projects as outlined in the 2021 Master Plan include:

- **Establishment of a Downtown Development Authority (DDA).**
- **Business attraction and retention efforts.** The Planning Commission will support business retention and attraction in whatever ways most feasible in 2024. This includes exploring enrollment in the Redevelopment Ready Communities program run by the Michigan Economic Development Corporation.
- **Implementation of new districts** (and revisions to existing districts) such as Flex Corridor Overlay District and Central Business District (Core and Fringe).
- **Continuing to develop and maintain the City's sidewalk network.** Using SEMCOG grant funds, the Planning Commission should support and amplify the Sidewalk and Pathway Network Gaps Planning efforts, including community engagement and planning for the construction and/or repair of sidewalks, especially along major thoroughfares.

FULL ZONING ORDINANCE UPDATE

In 2025, one of the Planning Commission's work program priorities will include a full Zoning Ordinance rewrite, which will include necessary Ordinance updates to address current issues and begin to modernize the Zoning Ordinance. Current issues that will be addressed include:

- **Maximum Illumination Standards**
Review maximum illumination standards against modern best practices and clarify vague language in existing ordinance.
- **Parking Minimums**
Assess the proliferation of parking minimums throughout the Zoning Ordinance and identify opportunities to reduce or remove them.
- **Driveways and lot coverage**
Clarify driveway expansion regulations and exploring permeable material allowed for parking and driving areas.
- **Automatic Car Wash Standards**
On November 14, 2024, City Council adopted a moratorium on new car wash development so that Planning and Legal could review best practices and recommend ordinance amendments to address the modernization of these intensive uses.
- **Transparency Requirements**
Update building transparency requirements. The Planning Commission conducted research in 2022 regarding building transparency requirements in surrounding communities. These findings should be used to update the building transparency requirements in the Zoning Ordinance.





MCKENNA

November 18, 2024

Hon. Members of the Zoning Board of Appeals
City of Fraser
33000 Garfield Road
Fraser, Michigan 48026

**SUBJECT: ZBA REPORT #1
#24-07 VARIANCE REQUEST / MISTER CAR WASH**

APPLICANTS: MISTER CAR WASH

SECTION: SECTION 32-86(6), PROVISIONS PERTAINING TO MAXIMUM LIGHTING ILLUMINATION FOR A COMMERCIAL USE.

LOCATION: 34625 & 34835 UTICA ROAD, FRASER, MICHIGAN 48026

REQUEST: TO OBTAIN A VARIANCE FROM ZONING ORDINANCE STANDARDS TO ALLOW THE APPLICANT TO EXCEED THE MAXIMUM ALLOWED FOOTCANDLES ILLUMINATION MEASUREMENT IN A COMMERCIAL USE.

- THE PROPOSED MAXIMUM ILLUMINATION IN THE DRIVEWAY IS 21 FOOTCANDLES WHERE ONLY 4 FOOTCANDLES ARE PERMITTED.
- THE PROPOSED MAXIMUM ILLUMINATION FOR PARKING AREAS IS 33 FOOTCANDLES WHERE ONLY 4 FOOTCANDLES ARE PERMITTED.
- THE PROPOSED MAXIMUM ILLUMINATION FOR WALKS IS 33 FOOTCANDLES WHERE ONLY 2 FOOTCANDLES ARE PERMITTED FOR WALKS.

Dear Members of the Zoning Board of Appeals:

We have reviewed the above referenced application for exceeding illumination levels— as they do not meet the requirements of the code – and have prepared the following report. The report identifies the relevant facts about the property and the proposal. The report also provides our professional opinion about how the relevant sections of the ordinance that guide the ZBA’s decisions apply to this requested variance.

ADMINISTRATIVE STATEMENT OF FACTS

The applicant, CWP West, LLC (Mr. Car Wash representative), is seeking site plan approval for their proposed development at 34625 & 34835 Utica Road for an auto wash. The city’s zoning ordinance outlines maximum foot candle levels for illumination for buildings within a commercial district. The applicant is requesting three variances to exceed the required maximum illumination levels within the driveway, parking areas, and walks.



HEADQUARTERS
235 East Main Street
Suite 105
Northville, Michigan 48167

O 248.596.0920
F 248.596.0930
MCKA.COM

Communities for real life.



ZONING BOARD OF APPEALS VARIANCES AND BOARD ACTION RESTRICTIONS

The ZBA is a body of limited powers. §32-228 explains how Fraser administers variance requests. Where there are practical difficulties or unnecessary hardships in the way of strict enforcement of the zoning ordinance, the ZBA may grant appeals to vary or modify any zoning provisions that apply to dimensional standards like construction, structural changes in equipment, or alteration of buildings or structures. The ZBA's actions must uphold the zoning ordinance, secure public safety, and provide substantial justice for all property owners.

The ZBA must consider whether the property in question exhibits practical difficulty, like geographical or topographical conditions that impair its improvements without the modifications requested.

As described in §32-228(a)(2), the ZBA must find evidence of evidence that:

- all the facts and conditions of a. thru d. exists,
- or e. or f. exists independently, to grant a variance.

Our comments related to the proposal follow each clause in **bold**.

- a. *That there are exceptional or extraordinary circumstances or conditions applying to the property in question or as to the intended use of the property that do not apply generally to other properties in the same zoning district.*

Applicant Comments	This applicant states the unique characteristics for the use of the property includes the performance by customers of tasks outside their vehicle such as vacuuming, drying and applying of specialty products creates a unique and extraordinary circumstance not found on other properties in the GC – General Commercial zoning.
Planning Comments	We do not find that performing tasks outside vehicles is unique to this property. For example, gas stations also require customers to leave their vehicle and perform tasks.

- b. *That such variance is necessary for the preservation and enjoyment of a substantial property right like that possessed by other properties in the same vicinity. The possibility of increased financial return shall not of itself be deemed enough to warrant a variance.*

Applicant Comments	Without the granting of this variance, it would create an unsafe condition on the site which may not allow this project to move forward. By allowing the light illumination to be enhanced during operating hours, this will allow Mister Car Wash to safely operate and for the existing, vacant site to be redeveloped into a state-of-the art express tunnel car wash.
Planning Comments	We note that the proposed operation hours are from 7am to 8pm, as indicated in the Special Land Use application, and defer to the applicant if this has changed. We do not believe granting this variance is necessary for the preservation or enjoyment of a substantial property right like that possessed by other properties. To the north, Auto Zone (CG zoned), is compliant with the lighting ordinance. Additionally, other CG, auto-centric uses have committed to compliant lighting plans.



- c. *That the authorizing of such variance will not be of substantial detriment to adjacent property and will not materially impair the intent and purpose of this chapter or the public interest.*

Applicant Comments	The site sits within a GC - General Commercial zone, with commercial uses and/or Public Right of Way on all sides of the site. The light level at the property lines will meet all city ordinances and the elevated illumination levels will be mitigated onsite during non-operating hours by turning off the POS canopy lighting and every other vacuum light arm. Elevated light illumination levels will have no adverse effects on neighboring property owners/users.
Planning Comments	We do not find that granting this variance will materially impair the intent and purpose of this chapter or the public interest, as the site does not abut any non-commercial uses and is located on a major throughfare.

- d. *That the conditions or situation of the specific piece of property, or the intended use of the property for which the variance is sought, is not of so general or recurrent in nature as to create a general rule for such condition or situation.*

Applicant Comments	Due to the specialized nature of a car wash with exterior vacuums, the vacuums necessitate a Special Land Use within the City of Fraser zoning ordinances. This, coupled with the fact that there are no other express tunnel car washes with exterior vacuums located within the City of Fraser indicates the unique circumstance is not so common as to warrant a general rule for such condition.
Planning Comments	We find that the conditions for which the variance is sought may not be unique to the use. The variance sought is for increased illumination levels to necessitate safe travel and usage or services within the site. This may be applicable to other auto-centric uses such as carry-out or drive through restaurants, gas stations, or other auto service uses.

OR

- e. *That the modification to setback, location, site or building requirements is sponsored by the Planning Commission for a specific proposal that benefits the City by providing better design or efficient use of the site or results in a more creative development (all fees to be paid by the applicant).*

The Planning Commission did not sponsor this proposal as a part of a site plan and/or special land use approval.

OR

- f. *That phasing of required site plan improvements may be warranted because the cost of such improvements is relatively high in relation to the total cost of the applicant's development or addition. Planning Commission recommendations shall be required, together with a financial security in the amount of the deferred improvements.*

The applicant cannot meet the zoning ordinance's standards through phasing or deferment; therefore, the scenario does not apply.



CONCLUSION

We do not find that all the conditions specified in the ordinance for granting a variance are met. Additionally, we do not find a practical difficulty or unnecessary hardship that would necessitate the granting of this variance. For those reasons, we recommend denying the requested variances for increased illumination levels.

Please let me know if you have any questions.

Respectfully Submitted,

Alicia Warren
Assistant Planner

Lauren Sayre, AICP
Associate Planner

Cc: Applicant
City Manager
Building Official
City Attorneys



City of Fraser

Building & Code Enforcement Department

NOTICE OF ZONING BOARD OF APPEALS HEARING

NOTICE IS HEREBY GIVEN that the City of Fraser Zoning Board of Appeals will meet on **Thursday, December 5, 2024**, at 7:00 p.m. in the Fraser City Hall Council Chambers at 33000 Garfield Road, located at the southeast corner of Fourteen Mile and Garfield Roads, Fraser, Michigan for the purpose of conducting a Public Hearing and making a decision on the following request:

APPEAL #24-07:

VARIANCE REQUEST / Mister Car Wash

BY REASON OF:

SECTION 32-86(6), PROVISIONS RELATING TO LIGHTING MAXIMUM ILLUMINATION FOR A COMMERCIAL USE.

PURPOSE OF REQUEST:

TO OBTAIN A VARIANCE FROM ZONING ORDINANCE STANDARDS TO ALLOW THE APPLICANT TO EXCEED THE MAXIMUM ALLOWED FOOTCANDLES ILLUMINATION MEASUREMENT IN A COMMERCIAL USE.

- THE PROPOSED MAXIMUM ILLUMINATION IN THE DRIVEWAY IS 21 FOOTCANDLES WHERE ONLY 4 FOOTCANDLES ARE PERMITTED.
- THE PROPOSED MAXIMUM ILLUMINATION FOR PARKING AREAS IS 33 FOOTCANDLES WHERE ONLY 4 FOOTCANDLES ARE PERMITTED.
- THE PROPOSED MAXIMUM ILLUMINATION FOR WALKS IS 33 FOOTCANDLES WHERE ONLY 2 FOOTCANDLES ARE PERMITTED FOR WALKS.

PROPERTY IN QUESTION:

34625 AND 34835 UTICA ROAD, FRASER, MI 48026

NOTICE IS FURTHER GIVEN that any interested person may appear and comment upon the proposed request in person, or by agent or attorney during the public hearing to be held on the date and time of the meeting. Pertinent information relating to the application may be reviewed at the Fraser Building Department during regular business hours which are 8:00 a.m. to 4:30 p.m., Monday through Friday at the Fraser City Hall, 33000 Garfield Road, Fraser, Michigan. Questions regarding the requested variance can be directed to the Planner, c/o Building Department at 586-293-3100. Written comments may be submitted to the Fraser Building Department at 33000 Garfield Road, Fraser, Michigan 48026, or email to the Building Department at zoning@micityoffraser.com up to 4:30 p.m. of the meeting date.

The City of Fraser will provide necessary, reasonable auxiliary aids and services to individuals with disabilities at the meeting upon four (4) days' notice to the Building Department at the phone number set forth above.



CITY OF FRASER
APPLICATION FOR APPEAL
ZONING BOARD OF APPEALS

Office Use Only

APPEAL # _____

DATE OF MTG. _____

DATE REC'D _____

RECEIPT #: _____

CIRCLE ALL THAT APPLY:

VARIANCE

APPEAL

TEMPORARY

INTERPRETATION

GENERAL LOCATION OF PROPERTY:

ADDRESS 34625 Utica Road CROSS STREETS: Utica Road & Woodlane

LEGAL DESCRIPTION (Lot number, subdivision, metes/bounds or attach on a separate sheet):

PIN: 11-31-202-002 and 11-31-100-049 See attached for proposed legal description

BASIS FOR REQUEST: (Hardship or practical difficulty imposed by Ordinance):

See attached

SECTION OR ORDINANCE INVOLVED: Section 32-86

ZONING DISTRICT OF PROPERTY: CG - Commercial General

APPLICANT

NAME AND ADDRESSES OF PARTIES OF INTEREST AND/OR APPLICANT SETTING FORTH THE LEGAL INTEREST IN SAID PREMISES:

APPLICANT: CWP West, LLC (c/o Christopher Campbell)

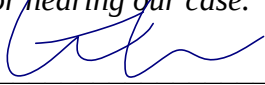
ADDRESS: 222 E. 5th Street, Tucson, AZ 85705 ccampbell@mistercarwash.com

PHONE: 763-360-8963 INTEREST: Lessee

APPLICANT: _____

ADDRESS: _____

I (We) hereby request a hearing on the above-mentioned matter before the City of Fraser Zoning board of Appeals. The undersigned swear(s) the foregoing statements and answers herein contained and accompanied information and data are in all respects true and complete. I (we) grant permission to Members of the Zoning Board of Appeals and to the City of Fraser Administration to enter the land in order to view the outside premises in preparation for hearing our case.

Signature of Applicant:  Date: 11/6/2024

Signature of legal property owner (if not applicant):  Date: 11/6/2024

Proposed Metes & Bounds

PROPOSED PARCEL DESCRIPTION

All that part of the Northwest 1/4 of Section 31, Town 2 North, Range 13 East, Macomb County, Michigan described as:

Commencing at the North 1/4 corner of said Section 31; thence South 89°24'07" West, 184.68 feet to the northeast corner of the land conveyed in Warranty Deed Liber 4751, Page 31, Macomb County Records; thence along the easterly line of said land the following (2) courses: (1) South 21°47'00" West 64.36 feet; (2) South 89°24'07" East 64.35 feet to the southwesterly right of way of Utica Road; thence along said right of way the following (2) courses: (1) South 21°47'00" East 770.62 feet; (2) South 21°21'55" East 196.12 feet TO THE PLACE OF BEGINNING OF THIS DESCRIPTION; thence continuing South 21°21'55" East 139.42 feet along said southwesterly right of way; thence South 79°12'06" West 60.16 feet; thence South 83°52'10" West 112.45 feet to a point on the North-South Quarter line of said Section 31; thence South 00°37'35" East 45.82 feet along said Quarter line; thence South 89°50'35" West 218.56 feet; thence North 00°41'53" East 195.84 feet; thence North 89°24'28" East 214.03 feet to said Quarter line; thence South 00°37'35" East 14.92 feet along said line; thence North 82°18'46" East 122.71 feet to the place of beginning of this description.

Containing ±62,815 sq ft (±1.442 Acres) more or less.

Basis for Request

Due to the unique nature of the use with a mixture of vehicles and people traversing the site, and customers outside of their vehicles performing tasks, it's important that elevated, safe light levels be provided. The vacuum stalls in particular are not parking stalls, rather they are vacuum stations where customers park and exit their vehicles to perform specific tasks. These tasks include vacuuming out vehicles, drying off residual water or applying specialty products they may use. Customers require elevated & safe light levels to see what they're doing as they work to safely navigate around their vehicle while performing these tasks. Additionally, these elevated light levels allow other drivers to safely see those customers utilizing a vacuum station.

The Pay Station Canopy provides an area where Mister Car Wash team members assist customers as they make their purchase selection via the POS kiosk. The mixture of employees and vehicles, coupled with the nature of the transactions occurring require elevated and safe light levels.

Unlike other comparable uses where customers may park their vehicle and pump fuel, or park and walk into a retail store, the Mister Car Wash customer is utilizing the vacuum stations as they perform tasks in and out of their vehicles all while having automotive traffic maneuvering around them.

Mister Car Wash requests approval for a variance to allow light levels to exceed 4.0 foot candles in the Driveway and Parking areas and the Walks to exceed 2.0 foot candles. The not to exceed foot candles desired is 21 fc on the Driveway, Parking areas and Walks and 33.0 foot candles under the POS Canopy.

At no time will light levels exceed those allowed by code at the property line. Additionally, Mister Car Wash intends to turn the POS canopy lighting and every other vacuum light arm off during non-operating hours.

To approve a variance request, the Zoning Board shall find evidence that all the following facts and conditions of a. through d. exist.

Section 32-228 Variance Approval Criteria

- a) That there are exceptional or extraordinary circumstances or conditions applying to the property in question or as to the intended use of the property that do not apply generally to other properties in the same zoning district.

RESPONSE: As noted above in the narrative, the performance by customers of tasks outside their vehicle such as vacuuming, drying and applying of specialty products creates a unique and extraordinary circumstance not found on other properties in the GC – General Commercial zoning.

- b) That such variance is necessary for the preservation and enjoyment of a substantial property right similar to that possessed by other properties in the same vicinity. The possibility of increased financial return shall not of itself be deemed sufficient to warrant a variance.

RESPONSE: Without the granting of this variance, it would create an unsafe condition on the site which may not allow this project to move forward. By allowing the light illumination to be enhanced during operating hours, this will allow Mister Car Wash to safely operate and for the existing, vacant site to be redeveloped into a state-of-the-art express tunnel car wash.

- c) That the authorizing of such variance will not be of substantial detriment to adjacent property and will not materially impair the intent and purpose of this chapter or the public interest.

RESPONSE: The site sits within a GC - General Commercial zone, with commercial uses and/or Public Right of Way on all sides of the site. The light level at the property lines will meet all city ordinances and the elevated illumination levels will be mitigated on-site during non-operating hours by turning off the POS canopy lighting and every other vacuum light arm. Elevated light illumination levels will have no adverse effects on neighboring property owners/users.

- d) That the conditions or situation of the specific piece of property, or the intended use of the property for which the variance is sought, is not of so general or recurrent in nature as to create a general rule for such condition or situation.

RESPONSE: Due to the specialized nature of a car wash with exterior vacuums, the vacuums necessitate a Special Land Use within the City of Fraser zoning ordinances. This, coupled with the fact that there are no other express tunnel car washes with exterior vacuums located within the City of Fraser indicates the unique circumstance is not so common as to warrant a general rule for such condition.

LEGEND

	PROPERTY LINE		PAVEMENT MARKINGS
	PROPOSED VERTICAL CURB		STOP BAR & SIGN
	PROPOSED ROLLED CURB		PROPOSED SIGN
	EXISTING CURB & GUTTER		ACCESSIBLE PARKING SPACE
	CONCRETE SIDEWALK		EX / PR LIGHT POLE
	CONCRETE PAVEMENT		EXISTING UTILITY POLE
	HEATED CONCRETE PAVEMENT		
	OVERHEAD ELECTRIC		

NOTES

1. REFER TO THE ALTA/ACSM LAND TITLE SURVEY FOR ADDITIONAL EXISTING FEATURES AND PROPERTY BOUNDARY INFORMATION. REFERENCE SURVEY: SURVEY BY WILLIAMS & WORKS, JOB NO.: Z21014.048, DATE: 06/27/24.
2. ALL DIMENSIONS ARE TO EDGE OF BUILDING, FACE OF CURB, OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
3. REFER TO ARCHITECTURAL / FOUNDATION PLANS FOR BUILDING DIMENSIONS.
4. ALL RADII ARE 5' UNLESS OTHERWISE NOTED. ALL RADII ARE DIMENSIONED FROM BACK OF CURB.
5. A SEPARATE SIGN APPLICATION TO CITY OF FRASER IS REQUIRED FOR ALL SIGNS.
6. OPEN STORAGE OF MATERIALS SHALL NOT BE PERMITTED ON THE SITE.
7. 3 MECHANICAL DRY-OFF MACHINES PROVIDED WITHIN CARWASH TUNNEL.
8. PAVEMENT THICKNESS WILL MEET OR EXCEED MINIMUM PAVEMENT THICKNESS REQUIRED BY CITY OF FRASER AS FOLLOWS:
 - 8.1. CONCRETE: SEVEN INCHES OF CONCRETE ON AN APPROVED SUBBASE.
 - 8.2. ASPHALT: FOUR INCHES OF BITUMINOUS ON SIX INCHES OF AGGREGATE SUBBASE.

PROJECT NARRATIVE

THE PROPOSED DEVELOPMENT IS A CONVEYOR-TYPE CAR WASH TO INCLUDE A 6,530 SQUARE FOOT BUILDING FACILITY AND ASSOCIATED PARKING FACILITIES, UTILITY SERVICES, LANDSCAPING & STORMWATER MANAGEMENT FACILITIES.

THE PROPOSED SITE IS LOCATED AT 34625 UTICA ROAD AND IS CURRENTLY UNOCCUPIED BY THE PREVIOUS TENANT. DEVELOPMENT OF THE SITE WILL REQUIRE DEMOLITION OF THE EXISTING BUILDING, REMOVAL AND CAPPING OF EXISTING UTILITY SERVICE FEEDS, AND REDEVELOPMENT OF THE SITE ACCORDING TO THE SITE LAYOUT PLAN PER COUNTY & STATE REQUIREMENTS.

SITE DATA

TAX ID:	03-11-31-100-049
ZONING:	GC GENERAL COMMERCIAL
PARCEL 1:	26.93 ACRES
PARCEL 2:	0.66 ACRES
OVERALL PARCEL:	27.59 ACRES

PROPOSED MCW PARCEL: 1.44 ACRES

BUILDING DATA

FLOOR AREA 6,530 SF

EMPLOYEE PARKING DATA

PROPOSED	REQUIRED	FORMULA
4 SPACES*	3 SPACES	1 SPACE PER EMPLOYEE (2-3 EMPLOYEES PER SHIFT)

CAR WASH STACKING DATA

PROPOSED	REQUIRED	FORMULA
24 SPACES	18 SPACES	6 SPACES PER SERVICE LANE

ACCESSIBLE PARKING DATA

	PROPOSED	REQUIRED	FORMULA
TOTAL	2 SPACE*	1 SPACE	1-25 TOTAL SPACES PROVIDED
VAN	1 SPACE*	1 SPACE	1/6 ACCESSIBLE SPACES

*ACCESSIBLE VACUUM SPACE IS INTENDED TO SERVE AS ACCESSIBLE SPACE

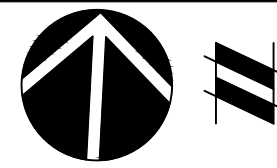
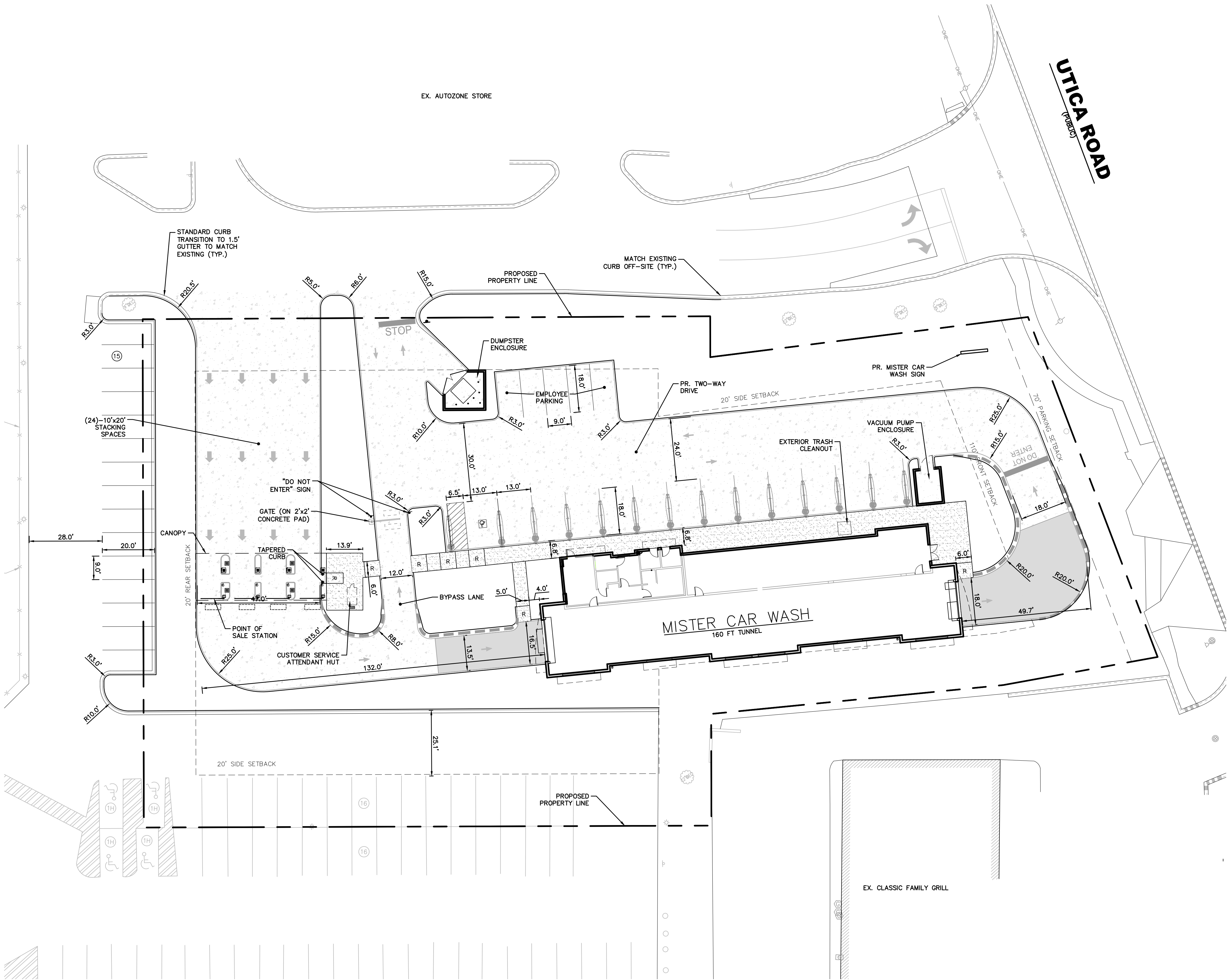
PARCEL DESCRIPTION

SPLIT ON 11/02/2021 INTO 03-11-31-100-049 & 03-11-31-100-050; T2N, R13E, SEC 31; COMM AT N 1/4 POST SEC 31; TH S89+24°07'W 184.68 FT TO POB; TH S21+47°00'E 64.36 FT; TH S89+24°07'W 64.35 FT; TH S21+47°00'E 302.71 FT; TH S89+31°41'W 183.52 FT; TH S00+25°20'E 339.18 FT; TH S89+31°43'E 98.70 FT; TH N85+55°32'E 42.61 FT; TH N77+24°57'E 55.82 FT; N69+23°27'E 58.07 FT; TH N22+05°42'W 15.00 FT; TH 5.47 FT ALG A CURVE LEFT, R=24.16, CB N58+11°37'E 5.46 FT; TH S21+47°00'E 50.79 FT; TH N62+42°07'W 12.25 FT; TH S69+11°13'W 33.95 FT; TH 179.94 FT ALG A CURVE RIGHT, R=418.95, CB S76+21°20'W 178.56 FT; TH S00+25°36'E 195.76 FT; TH N89+10°55'E 151.42 FT; TH 148.46 FT ALG A CURVE LEFT, R=338.34, CB N77+11°21'E 147.27 FT; TH N16+37°43'E 3.75 FT; TH S21+21°55'E 83.39 FT; TH S82+18°46'W 122.84 FT; TH S00+37°09'E 357.53 FT; TH S89+24°07'W 1124.46 FT; TH NORTH 1334.67 FT; TH N89+24°07'E 115.41 FT; TH S00+00°00'E 107.68 FT; TH N90+00°00'W 28.84 FT; TH S00+00°00'E 98.42 FT; TH 39.53 FT ALG A CURVE LEFT, R=25, CB S45+17°57'E 35.54 FT; TH N89+24°07'E 213.58 FT; TH N89+27°13'E 160.43 FT; TH 76.75 FT ALG A CURVE TO RIGHT, R=200, CB S79+24°31'E 76.28 FT; TH S68+24°56'E 46.22 FT; TH 49.26 FT ALG A CURVE TO LEFT, R=25, CB N55+08°01'E 41.67 FT; TH N01+19°02'W 156.30 FT; TH N18+29°03'W 24.89 FT; TH NORTH 60.00 FT; N89+24°07'E 298.85 FT TO POB 26.935 AC

SITE BENCHMARKS

ON-SITE BENCHMARK #1: ARROW ON FIRE HYDRANT IN WEST RIGHT OF WAY OF UTICA ROAD AT SOUTHEAST LIMITS OF TOPO AREA
ELEVATION: 614.77 (NAVD88)

ON-SITE BENCHMARK #2: ARROW ON FIRE HYDRANT AT SOUTHWEST LIMITS OF TOPO AREA
ELEVATION: 616.64 (NAVD88)

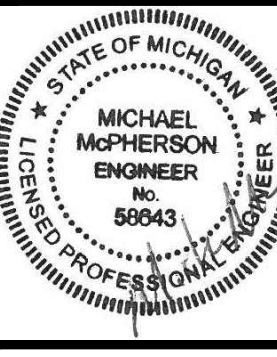


222 E. 5TH STREET
TUCSON, AZ 85705
www.mistercarwash.com



MISTER CAR WASH
STORE # MI 1454 FRASER
SITE PLANS
LAYOUT PLAN

DATE: AUGUST 12, 2024
REVISIONS/SUBMITTALS



DRAWN BY: NM
CHECKED BY: EM/JA
PROJECT MANAGER: JA
JOB #: 230000110
SHEET #:



Mister CAR WASH®



Monthly Planning & Zoning Report

For December 2024

McKenna provides day-to-day assistance to the City, applicants, and the public regarding zoning, planning and economic development matters.

PLANNING, ZONING, DESIGN & ECONOMIC DEVELOPMENT ACTIVITY

As part of our services to the City, McKenna reviews Planning Commission applications and provides recommendations on long range planning, land use, zoning, and design. The following is a summary of active developments; **yellow highlighting indicates new updates for the month.**

PROJECT # / ADDRESS	SCOPE	STATUS / NEXT STEPS
SP21-08 34400 Utica Hockeyland Outlot SLU 24-01	Site plan approval with conditions granted on August 4, 2021.	Site plan approval extended for 12 months, August 2, 2023, subject to site plan amendment approval. Approved to apply for foundation permits. Revised site plan approved at September PC meeting. CofO contingent on satisfaction of all PC conditions of approval. Lot split application approved in October 2022. Approved to move forward with the process without finalized parking agreement. Construction underway. Planning Commission conditionally approved the site plan with amendments to the conditions regarding off-site shared parking agreements. SLU modification approved at March 6, 2024 PC Meeting. Big Boy / Hockeyland management met with City (building, planning, engineering, legal) and has submitted a plan to complete all outstanding items by September 30, 2024. Big Boy / Hockeyland met with City in October to discuss outstanding items.
RZ23-02 32981 & 32875 Utica Road Sheetz	Conditional rezoning from CBD to CG to operate a gas station and fast food restaurant.	Public hearing at the January 3, 2024 Planning Commission Meeting. Planning Commission recommended denial of conditional rezoning to City Council at January 3, 2024 Planning Commission Meeting.



PROJECT # / ADDRESS	SCOPE	STATUS / NEXT STEPS
		City Council approved Conditional Rezoning on October 30, 2024. Applicant is currently revising the agreement in accordance with conditions provided at the meeting. <i>“Motion by Perry supported by Sutherland to approve the conditional rezoning application RZ23-02 based on the information presented by Sheetz with modifications to the maintenance of landscaping, the presentation of a compliant lighting plan, and Sheetz covering the cost of any land transfers to neighboring residents.”</i> The site plan will return to Planning Commission, but Planning Commission will only be able to ensure that the conditions of the conditional rezoning agreement are met.
SP 24-01 ZBA 24-03 34400 Klein Foundation Solutions 360	Site Plan amendment to remove ZBA condition and add paved parking area. Variance amendment to remove shared parking requirement. Variance request to increase parking setback nonconformity.	The site plan will be reviewed at the April 3, 2024 PC meeting. The variance requests granted at the May 2, 2024 ZBA meeting. The site plan was approved at the June 5, 2024 PC meeting. The site plan is in engineering review.
ZBA 24-01 31253 Utica Road Sunbelt Rentals	Request for front parking setback, as well as front fence setback and front setback for a storage area.	The variance request granted at the May 2, 2024 ZBA meeting. The site plan will be conditionally approved at the July 15, 2024 PC meeting. A variance will be reviewed at the August 15 ZBA meeting. This variance is part of the conditional site plan approval. Applicant is in engineering review.
SP 23-04 34575 Commerce Road Drivergent	Request for site plan approval to store buses outdoors.	Planning Commission tabled the request at the May 1, 2024 meeting until the applicant obtains all necessary variances and provides revisions to the site plan. Applicant indicated they are wanting to move their business, so will not be seeking approvals for the outdoor storage. Applicant is currently in litigation.
ZBA 24-04 34835 Utica Road SP 24-05 34835 Utica Road Meijer	Request for reduction of off-street parking spaces.	The variance for a parking reduction to 999 spaces was granted at the September 5, 2024 ZBA meeting. The Meijer site plan amendment to reduce the parking required was approved at the October 2, 2024 Planning Commission Meeting.



PROJECT # / ADDRESS	SCOPE	STATUS / NEXT STEPS
SP 24-04 34625 Utica Road	Request for site plan approval for new car wash.	Planning Commission approved the Special Land Use and conditionally approved the site plan on December 4, 2024 meeting.
SLU24-02 34625 Utica Road	Request for special land use for open air business (outdoor vacuums).	The applicant is returning January 13, 2025 to seek a site plan amendment.
ZBA 24-07 34625 Utica Road	Variance request to increase the maximum illumination levels.	Zoning Board will review the variance for lighting at the January 16, 2025 meeting.
Mister Car Wash		
SP 24-06 32925 Groesbeck Hwy Fraser Optical	Request for exterior façade with materials other than brick or stone.	Planning Commission approved the façade change at the November 6, 2024 meeting with a condition to use the brick façade up to the windows or door awning.
ZBA 24-06 33420 Utica Road	Request for a use variance to construct a multiplex development in the RM district.	The Zoning Board of Appeals approved the use variance at the November 7, 2024 meeting.
Use Variance for multiplex development	Request for site plan approval for multiplex development.	Applicant will return to PC for site plan review at the January 13, 2025 meeting.
SP 24-07 33420 Utica Road		
SP 24-08 17689 Masonic Blvd	Request for site plan approval for commercial strip mall.	Planning Commission will review the site plan for a 3-unit strip mall at the January 13, 2025 Meeting.
Strip Mall		
ZBA 24-08 18377 14 Mile Road	Request for a variance to use metal façade materials in an industrial district.	The Zoning Board will review the variance request for metal façade materials at the January 16, 2025 Meeting.
Power Solutions		

LOOKING FORWARD

- Full Zoning Ordinance Rewrite (End of 2025 – Early 2026)

CONTACT US

Should you have any questions on the above projects or would like additional information, please contact your City of Fraser team at:

- Lauren Sayre (lsayre@mcka.com)
- Alicia Warren (awarren@mcka.com)