



City of Fraser

Building & Code Enforcement Department

AGENDA

CITY OF FRASER PLANNING COMMISSION – (VIRTUAL MEETING)
MUNICIPAL BUILDING ~ 33000 GARFIELD ~ PHONE: 586-293-3100
WEDNESDAY, AUGUST 4, 2021 at 7:00pm

1. **Call Meeting to Order/Pledge of Allegiance**
2. **Roll Call**
3. **Approval of Agenda**
4. **Chairperson's Opening Remarks**
5. **Approval of Minutes**
6. **New Business**
 - A. **Public Hearings: None**
 - B. **Site Plans and Other Reviews**
 - i. SP20-004 / WESLEY BERLIN ON BEHALF OF AUTOZONE DEVELOPMENT, LLC / ADDRESS TBD (WEST SIDE OF UTICA ROAD, SOUTH OF MEIJER ENTRANCE) / REQUEST FOR SITE PLAN APPROVAL EXTENSION
 - ii. SP20-005 / WESLEY BERLIN ON BEHALF OF MEIJER, INC. / 35835 UTICA ROAD / REQUEST FOR SITE PLAN APPROVAL EXTENSION
 - iii. SP21-06 / KEVIN TUCHOWSKI ON BEHALF OF MAHDI BASHA / 33050 UTICA ROAD / PROPOSED SITE PLAN AMENDMENT
 - iv. SP21-07/ KEVIN TUCHOWSKI ON BEHALF OF MAHDI BASHA / 33080 UTICA ROAD / PROPOSED SITE PLAN AMENDMENT
 - v. SP21-08/ JIM BUTLER ON BEHALF OF A&A MANAGEMENT / PART OF 33400 UTICA ROAD / PROPOSED SITE PLAN AMENDMENT
7. **Unfinished Business**
 - i. 01-19SUB / MAX MANCINI / GARFIELD PARK - SUB PARCELS 1-10 / PROPOSED SITE PLAN AMENDMENT
 - ii. Administration Report/Follow Up on Site Plan Administration Post-Planning Commission Approval
8. **Public Communications on Non-Agenda Items**
9. **Zoning Board of Appeals Member Liaison Report**
10. **Commissioners' Comments and Items of Interest / Concerns**
11. **Adjournment**



City of Fraser

Building & Code Enforcement Department

NOTICE OF ELECTRONIC PUBLIC MEETING

To protect the public health and in accordance with the City of Fraser's local state of emergency due to the ongoing COVID-19 pandemic, the Fraser Planning Commission will meet electronically on **August 4, 2021** in accordance with the Open Meetings Act, using the Zoom platform for videoconferencing and public access.

This notice is required to ensure that those wishing to observe and/or participate in the meeting have the opportunity to do so. The public can participate via the Zoom application, internet access via the Zoom website, and/or via telephone using the Zoom telephone number and meeting ID. The public will be able to hear Planning Commission members and will be permitted to speak for up to five minutes during the public participation portion(s) of the agenda. Please note that callers/viewers will automatically be muted, and must remain muted until called upon to speak by the Chair. Written comments will be accepted prior to the date and time (no later than 4:30pm on the day of the meeting) by the Building Department at zoning@micityoffraser.com, which is the method by which members of the public may contact members of the public body to provide input or ask questions on any business that will come before the public body at the meeting. Public Hearing comments will be heard during any Public Hearing that is conducted during the meeting, and other comments will be heard or reviewed during public participation. In the event of a change in the status of local states of emergency, the Planning Commission meeting may be changed from a remote meeting to a live in-person meeting to be held at Fraser City Hall, 33000 Garfield Road, Fraser, MI 48026, on the same date and at the same time. The City will post notice of any change in method of conducting the meeting from a remote meeting to an in-person live meeting, and/or any change in the meeting place for this meeting, to the City's website at www.ci.fraser.mi.us. Interested parties should periodically check for such changes or contact the City Clerk's Office at (586) 293-3100.

The City of Fraser thanks all of you for your understanding and support as we all attempt to navigate these challenging times together.

ZOOM MEETING DETAILS

Topic: Planning Commission Meeting August 4, 2021
Time: Aug 4, 2021 07:00 PM Eastern Time (US and Canada)

Join Zoom Meeting
<https://us02web.zoom.us/j/86948299899>

Meeting ID: 869 4829 9899
Passcode: 751100
One tap mobile
+13017158592,,86948299899# US (Washington DC)
+13126266799,,86948299899# US (Chicago)

Dial by your location
+1 301 715 8592 US (Washington DC)
+1 312 626 6799 US (Chicago)
+1 929 205 6099 US (New York)
+1 253 215 8782 US (Tacoma)
+1 346 248 7799 US (Houston)
+1 669 900 6833 US (San Jose)
Meeting ID: 869 4829 9899
Find your local number: <https://us02web.zoom.us/j/86948299899>

5.

Approval of Minutes: June 2, 2021

**CITY OF FRASER PLANNING COMMISSION MEETING
MUNICIPAL BUILDING ~ 33000 GARFIELD ROAD
Wednesday, June 2, 2021
MINUTES DRAFT**

PRESENT: CHAIRPERSON: WARUNEK, MEMBERS: BARR, COOK, CZARNECKI, FARINA, KEIL, PERRY

EXCUSED ABSENCE: None.

ALSO PRESENT: CLARK ANDREWS, CITY ATTORNEY
ALYSSA ALBRIGHT, CITY ATTORNEY
DYLAN CHURCH, CITY ATTORNEY
MICHAEL VIGNERNON, CITY ENGINEER
PAUL URBIEL, McKENNA
DANIELLE BOUCHARD, McKENNA

1. CALL MEETING TO ORDER / PLEDGE OF ALLEGIANCE:

Chairperson WARUNEK called the meeting to order at 7:02 PM

2. ROLL CALL:

Members:	Barr	Present (participating from Macomb County, City of Fraser, Michigan)
	Cook	Present (participating from Macomb County, City of Fraser, Michigan)
	Czarnecki	Present (participating from Macomb County, City of Fraser, Michigan)
	Farina	Present (participating from Macomb County, City of Fraser, Michigan)
	Keil	Present (participating from Macomb County, City of Fraser, Michigan)
	Perry	Present (participating from Macomb County, City of Fraser, Michigan)
	Warunek	Present (participating from Macomb County, City of Fraser, Michigan)

3. APPROVAL OF AGENDA - Regular meeting of June 2, 2021:

Motion by Member: FARINA

Support by Member: KEIL

To: Approve the agenda of June 2, 2021 as amended. Amendments include:

1. Including discussion under Agenda Item #7, "New Business", to discuss the status of the Taco Bell development located at 34835 Utica Road.

AYES: 7 (BARR, COOK, CZARNECKI, FARINA, KEIL, PERRY, WARUNEK)

NAYS: 0

MOTION CARRIED

4. CHAIRPERSON'S OPENING REMARKS:

Chairperson WARUNEK read the formal statement relative to the powers of the Planning Commission and the facts and conditions for granting site plan approval. Chairperson WARUNEK read the formal statement relative to virtual public meetings and remote participation.

5. APPROVAL OF MINUTES May 5, 2021:

Motion by Member: FARINA

Supported by Member: KEIL

To: Approve the minutes of the May 5, 2021 as presented.

AYES: 7 (BARR, COOK, CZARNECKI, FARINA, KEIL PERRY, WARUNEK)

NAYS: 0

MOTION CARRIED

**CITY OF FRASER PLANNING COMMISSION MEETING
MUNICIPAL BUILDING ~ 33000 GARFIELD ROAD
Wednesday, June 2, 2021
MINUTES DRAFT**

6. NEW BUSINESS

A. PUBLIC HEARING: SLU 21-01 / Jim Butler on Behalf of Fraser Hockeyland Property, LLC / Part of 34400 Utica Road / To obtain a Special Land Use approval for a proposed fast-food restaurant with a drive-through window in the "CG – Commercial General" Zoning District.

DISCUSSION: URBIEL described details of SLU 21-01. The applicant is proposing to amend the previously approved site plan to redevelop an outlot area of the current Hockeyland site located at 34400 Utica Road. The proposed outlot development is a Big Boy restaurant with a drive-through window. A drive-through restaurant is permitted in the CG, Commercial General, District subject to special land use approval. Thus, a public hearing is required. Other proposed site improvements include:

- Landscaping (including 12 trees fronting Utica Road and 30 parking lot trees)
- Repaving and restriping the entire Hockeyland parking lot

JIM BUTLER, PEA, noted that the drive-through lane can be described as more of a pick-up window than a conventional drive-through operation. The function of the pick-up window is for patrons to order online in advance and utilize the drive-through lane to pick-up the order when it is ready. ANDREWS noted that for the purposes of the Special Land Use approval, the review is conducted as a drive-through.

The Public Hearing was opened at 7:14pm

PUBLIC COMMENTS: None

DISCUSSION:

URBIEL explained that the proposed restaurant is located on a 0.9-acre outlot on the Hockeyland parking lot. The proposed dimensional standards for the site meet Ordinance requirements. Points of ingress and egress onto the site will remain the same. Additionally, the applicant received a variance in 2019 to reduce the amount of required parking to 525 spaces. A proposed shared parking agreement with two neighboring properties will add another 247 parking spaces to the site. In terms of lighting, fencing, dumpster, building design, and pedestrian safety and circulation, all Ordinance requirements are met.

CZARNECKI questioned the applicant on why the proposed development only includes one building. Applicant BUTLER responded that one building resulted in a better overall layout for the site. BARR questioned if a traffic light should be placed at the site to assist motorists with entering and existing the Hockeyland site. FARINA noted that a traffic study completed by Macomb County concluded that a traffic light is not needed at that location. PERRY questioned the applicant on the drive-through lane configuration. If one order is not ready on time, it would likely be difficult to pull out of the line. BUTLER noted that the parking plan includes 3 spaces designated for waiting for pick-up orders to be ready.

FARINA questioned if there was any portion of the special land use request that did not meet Ordinance standards. URBIEL responded that the special land use request meets all Ordinance standards.

FARINA questioned the status of water retention on the lot. VIGERNON noted that City Engineers will be reviewing the stormwater plans for the site prior to any construction.

The Public Hearing was closed at 7:45pm

Motion by Member: FARINA

Supported by Member: KEIL

To: Approve SLU-21-01 Jim Butler on Behalf of Fraser Hockeyland Property, LLC / Part of 34400 Utica Road / To obtain a Special Land Use approval for a fast-food restaurant with a drive-through window in the "CG – Commercial General" Zoning District provided that the standards for special land use have been met and that the applicant must also comply with site plan approval and all of the conditions as set forth in it, which conditions are incorporated by reference as if fully set forth in this special land use approval.

**CITY OF FRASER PLANNING COMMISSION MEETING
MUNICIPAL BUILDING ~ 33000 GARFIELD ROAD
Wednesday, June 2, 2021
MINUTES DRAFT**

AYES: 7 (BARR, COOK, CZARNECKI, FARINA, KEIL, PERRY, WARUNEK)

NAYS: 0

MOTION CARRIED

B. SP 21-04 / Jim Butler on Behalf of Fraser Hockeyland Property, LLC / Part of 34400 Utica Road / Proposed site retail

DISCUSSION: URBIEL noted that the proposed site plan has 13 recommended conditions. The proposed site plan meets Zoning Ordinance requirements and the application is fully complete. The recommended conditions are based on the applicant's prior site plan approval. ANDREWS questioned if the cross-access with an adjacent site was eliminated from the site plan. BUTLER confirmed that the site plan was reconfigured to eliminate the need for a shared or joint access agreement with the south adjacent property owner.

Motion by Member: KEIL **Supported by Member:** WARUNEK

To: Approve SP 21-04 / Jim Butler on Behalf of Fraser Hockeyland Property, LLC / Part of 34400 Utica Road / Proposed site retail with the following conditions:

1. The applicant must provide a 60-day advance notice of significant events (which include Extreme Events) and a plan to handle parking, traffic and safe pedestrian circulation. A plan for Extreme Events must be submitted by the Applicant to the City's Development Review Team at least 60 days in advance of the proposed Extreme event to be reviewed administratively by the City.
2. The applicant agrees to comply with the Plan for Extreme Events and all additional requirements imposed by the Development Review Team relating to the proposed parking management strategy for large-scale special events.
3. The applicant agrees to employ adequate City Public Safety personnel at the Applicant's sole expense to handle traffic congestion and circulation problems and facilitate orderly parking at Extreme Events and other events where traffic congestion and the need for overflow parking is anticipated in accordance with the past practice reimbursement process.
4. The applicant must adhere to the North Parking Lot improvement plan as submitted.
5. The applicant must combine the three (3) subject parcels (i.e., the Hockeyland arena and the two parcels constituting the north lot) into a single property prior to the division of an outlot parcel as proposed.
6. Agreements for easements for cross access, shared parking and utilities for the parcels proposed as part of this development application are required. These agreements for easements must be reviewed and approved by the City, executed, and recorded with the Macomb County Register of Deeds.
7. Applicant must give the City 60 days advance notice prior to the expiration or termination of any Shared Parking and Lease Agreements, provide alternate shared parking arrangements for review and approval by the City, and be subject to revocation if no suitable shared parking arrangement is provided.
8. All agreements and site plans must be reviewed and approved by all applicable government departments and agencies, by the City Attorney, and City Engineers. The City shall be reimbursed by the property owner, or their designee, for any fees incurred by the City attorney(s) for the reviews and/or recommendations of all applicable agreements.
9. The applicant achieves 100% fire protection and safety approval from the City of Fraser Fire Marshall.
10. Retail operations may only be conducted between 6am and 11pm.
11. The applicant agrees to completely resurface, restripe, and re-asphalt the entire Hockeyland parking lot (i.e., the entirety of parking lots in proposed Parcels A, B and C, including the north lot) and the parking lot must provide adequate stormwater management.
12. Shared Parking and Lease Agreements with Total Soccer, the Lions' Club, Meijer, and Fraser Schools must be reviewed and approved by the City Attorney, executed, and recorded with the Macomb County Register of Deeds.
13. The applicant obtains written approvals from all applicable City departments and agencies prior to construction.

AYES: 7 (BARR, COOK, CZARNECKI, FARINA, KEIL, PERRY, WARUNEK)

NAYS: 0

**CITY OF FRASER PLANNING COMMISSION MEETING
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MOTION CARRIED

C. Discussion Regarding Returning to In-Person Meetings

DISCUSSION: URBIEL noted that the health and human services orders have been shifting. The City of Fraser still has a state of emergency order and are permitted to meet virtually until the end of the year. The mask mandate and indoor gathering restrictions are changing by July 1st. WARUNEK noted that the Planning Commission will wait until City Council makes a decision on when to return to in-person meetings.

7. UNFINISHED BUSINESS:

DISCUSSION: FARINA explained that the Taco Bell site located at 34835 Utica Road has a condition as part of the site plan approval to include a break as so headlights do not shine into oncoming traffic. URBIEL noted that the applicant has been reminded of that site plan condition. The applicant submitted a proposed solution to that condition to the City for review. FARINA questioned what the process is to make sure that site plan conditions are met before occupancy certificates are received. URBIEL explained that moving forward, the City planner will check each site against the required site plan conditions prior to a site receiving final occupancy.

8. PUBLIC COMMUNICATIONS ON NON-AGENDA ITEMS:

DISCUSSION: None.

9. ZONING BOARD OF APPEALS MEMBER LIASION REPORT:

DISCUSSION: FARINA noted the ZBA meeting is scheduled for June 3, 2021. In May, the ZBA approved two (2) variances and postponed one (1) variance.

10. COMMISSIONERS' COMMENTS AND ITEMS OF INTEREST / CONCERNS:

Member Barr:	None.
Member Cook:	Good Fellows is hosting the Tour De Fraser on August 7 th and golf outing September 18 th
Member Czarnecki:	Questioned McKenna on the status of the AutoZone development.
Member Perry:	None.
Member Farina:	Knights of Columbus is hosting an auto show in August.
Member Kiel:	Terry Cardwell passed away and visitation is Saturday, June 5 th at Resurrection Funeral Home at 40800 Hayes in Clinton Township.
Chair Warunek:	Hank Dolland passed away and the visitation is Saturday, June 5 th at Faulmann & Walsh.
McKenna:	AutoZone is planning to request an extension. The apartment building on the east side of Utica, south of Mulvey, is not completely stalled. The inspection for the basement concrete pour was completed, but no more inspections have been scheduled. Beams were set the week prior.
City Attorney:	None.

11. ADJOURNMENT:

Motion by Member: KEIL **Support by Member:** COOK

To: ADJOURN THE MEETING OF JUNE 2, 2021 at 8:45 PM

AYES 7 (BARR, COOK, CZARNECKI, FARINA, KEIL, PERRY WARUNEK)

NAYS 0

MOTION CARRIED

Audience members: None.

6B. Site Plans and Other Reviews

- i. SP20-004 / WESLEY BERLIN ON BEHALF OF AUTOZONE DEVELOPMENT, LLC / ADDRESS TBD (WEST SIDE OF UTICA ROAD, SOUTH OF MEIJER ENTRANCE) / REQUEST FOR SITE PLAN APPROVAL EXTENSION

- ii. SP20-005 / WESLEY BERLIN ON BEHALF OF MEIJER , INC. / 35835 UTICA ROAD / REQUEST FOR SITE PLAN APPROVAL EXTENSION

Contents:

- 1. City Planner (McKenna) Review Letter
- 2. Applicant's Request Letter



Memorandum

TO: Fraser Planning Commission
FROM: Paul Urbiel, AICP
SUBJECT: Site Plan Approval Extension Request for SP 20-004 and 20-005
DATE: July 27, 2021

On August 17, 2020 the Planning Commission approved site plan applications for a new AutoZone retail location on Utica (in the outlot of the Meijer at 34835 Utica Road, and a revised site plan for Meijer to accommodate the AutoZone development, as follows:

Motion by Member: FARINA **Supporting Member:** WARUNEK

To: Approve PSP 20-004, AutoZone Site Plan, with the following conditions:

1. That the applicant must present all shared parking, access, or utility easements to the City Attorney for review prior to recording at the Macomb County Register of Deeds;
2. The parent parcel, Meijer, must secure a site plan amendment to reduce its parking space count to the proposed 1,079 remaining spaces; and
3. The applicant add a bike rack as part of the project.

AYES 6

NAYS 0

MOTION CARRIED

Motion by Member: KEIL **Supporting Member:** FARINA

To: Approve PSP 20-005 Meijer Site Plan Amendment with the condition that:

1. The applicant must provide a reserve parking agreement for the City Planner and City Attorney to review prior to execution and recording at the Macomb County Register of Deeds that accommodates the 70-parking space reduction beyond previous variances granted for the development. The reserve parking agreement shall specify the zoning ordinance conditions required to construct the reserve parking spaces.

AYES 6

NAYS 0

MOTION CARRIED

Section 32-104 of the Fraser Zoning Ordinance states that site plan approval shall be valid from one (1) year of the date of approval. The physical improvement of the site must be "in actual progress" within that one-year time period.



The applicants have been working with City Administration on fulfillment of these conditions and the land division, and amongst themselves to finalize the sale of their property. The easements have been reviewed and approved by the City Attorney's office. A bike rack has been added to the site plan. Finally, the reserve parking agreement between Meijer and the City (upon which the AutoZone site plan is conditioned) is in process but not yet completed. Because these items have not yet been completed, permits have not been issued and the physical improvement of the site will not commence before the one-year approval period requires. Thus, the applicant is requesting a 12-month extension to allow for the fulfillment of the remaining conditions, permitting and mobilization. Construction is anticipated to begin in the fall of 2021 or spring 2022 and be completed 90-120 days afterward.

RECOMMENDATION

We believe the applicant has been operating in good faith to fulfill the required conditions and that the project will proceed once the outstanding items have been finalized. Given the timing the approval and that of construction season, we believe granting a 12-month extension is reasonable.

We recommend that the Commission approve the petitioner's request to:

*Extend the period of site plan approval for **SP20-004 AutoZone Site Plan** for a period of twelve (12) months, until August 17, 2022.*

And

*Extend the period of site plan approval for **SP20-005 Meijer Site Plan Amendment** for a period of twelve (12) months, until August 17, 2022.*

Please feel free to contact me with any questions. I look forward to discussing this request with you at the August 4, 2021 Planning Commission meeting.



123 South Front Street, Memphis, TN 38103 Phone (901)413-4246

June 11, 2021

**Re: Approval Extension Request
City Site Plan No.'s PSP 20-004 and PSP 20-005
Existing Meijer Store at 34835 Utica Road
City of Fraser, Macomb County, Michigan**

Dear City of Fraser Planning Commission and Staff:

AutoZone Development, LLC, and Meijer, Inc., hereby request extension of the Site Plan approvals granted by the City Planning Commission on August 17, 2020, for the above referenced City project numbers.

AutoZone is currently scheduled to close on the purchase of the subject property in June 2021. Construction of the AutoZone site is anticipated to begin as soon as permitting is completed for the development. Construction is tentatively targeted to begin late-summer 2021 depending on final timing of project permitting. In the event the permitting process delays the start of construction beyond the fall timeframe, construction may not begin until the spring of 2022. We are requesting a 12-month extension on both approvals PSP 20-004 and 20-005 in case construction commences in the spring of 2022. Once construction commences, we anticipate approximately 90-120 days for completion of the Project construction.

Since the above-referenced project approvals were granted in August 2020, AutoZone has been working with Meijer and the City of Fraser on the required easements and lot split process. These items are required to be finalized and recorded prior to issuance of final City permits, meaning AutoZone has to purchase the property without obtaining construction permits. This is not common practice for AutoZone, so the additional time has been required to evaluate, approve and commit to close on the Property.

Please contact me if additional information is needed for the extension requests.

Sincerely,

A handwritten signature in cursive script that reads "Carl E. Helton".

Carl Helton for AutoZone
901-413-4246
carl.helton@autozone.com

**AutoZone Development, LLC
123 S. Front Street, 3rd Floor
Memphis, TN 38103**

Enclosures:

AutoZone and Meijer Applications for Site Plan Review (Original 2020 applications)
Email from Meijer Regarding Approval Extension Request

_____ Building Department _____ Fire Marshal _____ City Council/Econ. Dev. Coord.	Application No. _____ Date Received _____ Review Fee \$ _____
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CITY OF FRASER

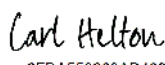
APPLICATION FOR SITE PLAN REVIEW/SPECIAL LAND USE APPROVAL

☒ Site Plan
 ☐ Special Land Use

Name of Project: <u>AutoZone Fraser MI6599</u>	
Address of Project: <u>Final address TBD (lot currently part of overall Meijer located at 34835 Utica Rd.)</u>	
Proposed Use: <u>Auto Parts Retail Sales</u>	
Applicant's Name: <u>AutoZone Development, LLC</u>	
Address: <u>123 S. Front Street, 3rd Floor</u>	
City: <u>Memphis, TN</u>	Zip: <u>38103</u>
Phone: <u>901-413-4246</u>	
Parcel Identification: <u>Parcel ID to be assigned after lot split (currently part of Meijer 03-11-31-100-044)</u>	
Complete Legal Description: (use opposite side or attach separately) <u>See attached Survey</u>	
Note: parcel shape is irregular	
Zoning: <u>CG</u>	Size in acres: <u>1.29</u>
Parcel Width: <u>221' +/-</u>	
Parcel Length: <u>214' +/-</u>	
Legal Owner:	
Name: <u>Meijer, Inc.</u>	
Phone #: <u>616-791-3909 Mr. Matt Levitt</u>	
Address: <u>2929 Walker Avenue NW, Grand Rapids 49544</u>	
Site Plan Preparer's Name: <u>Wesley Berlin, PE, Owner of Spartan Engineering Solutions, LLC</u>	
Phone: <u>810-746-9928</u>	Fax: <u>email: wberlin@spartan-es.com</u>
If the Petitioner is not the owner, state basis for representative (ie, attorney, representative, option-to-buy, etc.):	
<u>AutoZone has an executed Purchase and Sale Agreement with Meijer, to be executed upon permit issuance</u>	

Planning Commission meeting (second Wednesday of the month at 8:00pm.) The site plan shall include all information required by the City of Fraser Zoning Ordinance. All plans must be folded when submitted. The applicant or representative must be present at the Planning Commission meeting. The site plan shall satisfy the requirements of the Zoning Ordinance for issuance of a building permit, but shall not exempt the applicant from compliance with all other City ordinances or requirements.

The undersigned deposes that foregoing statements and answers and accompanied information are true and correct.

DocuSigned by:

 Signature of Applicant

Signature of Legal Property Owner

Carl Helton for AutoZone
 Please print/type name below signature

Please print/type name below signature

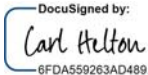
Certificate Of Completion

Envelope Id: 0862010E2B1D4AC9A12DE46B3143A466	Status: Completed
Subject: Please DocuSign: AutoZone Application for Site Plan Review.pdf	
Source Envelope:	
Document Pages: 5	Signatures: 1
Certificate Pages: 1	Initials: 0
AutoNav: Disabled	Envelope Originator:
Envelopeld Stamping: Disabled	Carl Helton
Time Zone: (UTC-06:00) Central Time (US & Canada)	123 S. Front St.
	Memphis, TN 38103
	carl.helton@autozone.com
	IP Address: 169.198.254.64

Record Tracking

Status: Original	Holder: Carl Helton	Location: DocuSign
6/30/2020 10:15:34 AM	carl.helton@autozone.com	

Signer Events

Carl Helton carl.helton@autozone.com PRE-CONSTRUCTION SPECIALIST AutoZone Parts, Inc. Security Level: Email, Account Authentication (None)	 DocuSigned by: Carl Helton 6FDA559263AD489... Signature Adoption: Pre-selected Style Using IP Address: 169.198.254.64	Timestamp Sent: 6/30/2020 10:16:24 AM Viewed: 6/30/2020 10:16:36 AM Signed: 6/30/2020 10:16:59 AM Freeform Signing
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Electronic Record and Signature Disclosure:
Not Offered via DocuSign

In Person Signer Events

Signature

Timestamp

Editor Delivery Events

Status

Timestamp

Agent Delivery Events

Status

Timestamp

Intermediary Delivery Events

Status

Timestamp

Certified Delivery Events

Status

Timestamp

Carbon Copy Events

Status

Timestamp

Witness Events

Signature

Timestamp

Notary Events

Signature

Timestamp

Envelope Summary Events

Status

Timestamps

Envelope Sent	Hashed/Encrypted	6/30/2020 10:16:24 AM
Certified Delivered	Security Checked	6/30/2020 10:16:36 AM
Signing Complete	Security Checked	6/30/2020 10:16:59 AM
Completed	Security Checked	6/30/2020 10:16:59 AM

Payment Events

Status

Timestamps

_____ Building Department _____ Fire Marshal _____ City Council/Econ. Dev. Coord.	Application No. _____ Date Received _____ Review Fee \$ _____
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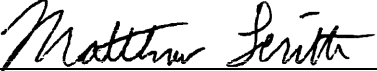
CITY OF FRASER
APPLICATION FOR SITE PLAN REVIEW/SPECIAL LAND USE APPROVAL

☒ Site Plan
 ☐ Special Land Use

Name of Project: <u>Meijer Store #145 Parking Count Amendment</u>	
Address of Project: <u>34835 Utica Road</u>	
Proposed Use: <u>No change in building or use; project is for approval of revised site parking stall count</u>	
Applicant's Name: <u>Meijer, Inc.</u>	
Address: <u>2929 Walker Avenue, NW</u>	
City: <u>Grand Rapids</u>	Zip: <u>49544</u>
Phone: <u>616-791-3909</u>	
Parcel Identification: <u>03-11-31-100-044</u>	
Complete Legal Description: (use opposite side or attach separately) <u>Note: parcel is irregular, dimensions are for reference only</u>	
Zoning: <u>CG</u>	Size in acres: <u>31.4+/-</u>
Parcel Width: <u>1,000'+/-</u> Parcel Length: <u>1,350'+/-</u>	
Legal Owner: Name: <u>Same as applicant</u> Phone #: _____	
Address: _____	
Site Plan Preparer's Name: <u>Wesley Berlin, PE, Owner of Spartan Engineering Solutions, LLC</u>	
Phone: <u>810-746-9928</u>	Fax: <u>email: wberlin@spartan-es.com</u>
If the Petitioner is not the owner, state basis for representative (ie, attorney, representative, option-to-buy, etc.): _____	

Planning Commission meeting (second Wednesday of the month at 8:00pm.) The site plan shall include all information required by the City of Fraser Zoning Ordinance. All plans must be folded when submitted. The applicant or representative must be present at the Planning Commission meeting. The site plan shall satisfy the requirements of the Zoning Ordinance for issuance of a building permit, but shall not exempt the applicant from compliance with all other City ordinances or requirements.

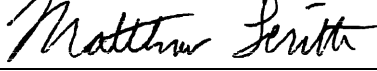
The undersigned deposes that foregoing statements and answers and accompanied information are true and correct.



 Signature of Applicant

Matthew Levitt, Real Estate Manager, Meijer

 Please print/type name below signature



 Signature of Legal Property Owner

Matthew Levitt, Real Estate Manager, Meijer

 Please print/type name below signature

From: [Hickman, Kendrick](#)
To: [Wesley Berlin](#)
Subject: FW: AutoZone Fraser MI6599 Site Plan Approval Expiration
Date: Tuesday, June 8, 2021 3:18:21 PM
Attachments: [image001.png](#)

Wes,

See below. I've forwarded the email to them regarding the email regarding the reserve parking agreement.

From: Levitt, Matt <Matt.Levitt@meijer.com>
Sent: Monday, June 7, 2021 7:18 AM
To: Hickman, Kendrick <kendrick.hickman@autozone.com>
Cc: Steigenga, Larae <Larae.Steigenga@meijer.com>
Subject: RE: AutoZone Fraser MI6599 Site Plan Approval Expiration

Kendrick,

We are fine with the extension of the parking amendment. I'm not sure about the reserve parking agreement, so I'm copying LaRae to see if she has recollection.



Matt Levitt / Manager - Property Sales / Real Estate
Meijer / 989 / 2350 3 Mile Rd., NW / Grand Rapids, MI 49544
P: 616-791-3909
matt.levitt@meijer.com

From: Hickman, Kendrick <kendrick.hickman@autozone.com>
Sent: Friday, June 4, 2021 3:54 PM
To: Levitt, Matt <Matt.Levitt@meijer.com>
Subject: FW: AutoZone Fraser MI6599 Site Plan Approval Expiration

Meijer Security Warning: This email was sent from outside the Meijer network. Use caution and do not open any attachments or click any URLs if you were not expecting the email or do not know the sender. If you have questions about an email please report it with PhishAlarm or forward it to spam@meijer.com.

Matt,

See the email below. Would Meijer's give us approval for the extension of the parking amendment (this would not affect our closing)? Also, was the reserve parking agreement ever finalized?

From: Wesley Berlin <wberlin@spartan-es.com>
Sent: Friday, June 4, 2021 10:16 AM
To: Helton, Carl <Carl.Helton@autozone.com>; Thaemert, Carolyn <carolyn.thaemert@autozone.com>; Hickman, Kendrick <kendrick.hickman@autozone.com>

6B. Site Plans and Other Reviews

iii. SP21-06 / KEVIN TUCHOWSKI ON BEHALF OF
MAHDI BASHA / 33050 UTICA ROAD / PROPOSED
SITE PLAN AMENDMENT

Contents:

1. City Planner (McKenna) Review Letter
2. Site Plan Submission

Site Plan Review Summary

SP 21-07

Site Plan Amendment Dated 7/27/21
City of Fraser, Michigan



SITE ADDRESS / LOCATION 33050 Utica Road	APPROVING BODY Planning Commission	PUBLIC HEARING DATE n/a
STAFF REPORT CONTACT INFORMATION Building Clerk – Jennifer Mellar – (586) 293-3100 ext. 154 Planning Consultant – Paul Urbiel, AICP – (313) 888-9882	APPLICANT / PROPERTY OWNER Kevin Tuchowski, AIA on behalf of Fraser Eye Care	

BRIEF SUMMARY OF REQUEST:

The applicant is proposing to convert the use of the existing building from restaurant/bar to office, renovate the façade, modify the parking lot by removing 3 existing parking spaces for an outdoor game area, and add additional landscaping.



	SITE ZONING + LAND USE	SURROUNDING ZONING + LAND USE	SITE IMPROVEMENTS	SIZE OF SITE + FRONTAGE
EXISTING SITE INFORMATION:	CBD – Community Business District; Medical Office / Clinic	Other commercial sites zoned CBD – Community Business District, One-Family Residential zoned RM - Residential Medium	Building façade renovation, removal of 3 (three) parking spaces for a game area	Total site area = 2.08 acres 106 ft. frontage on Utica Road

Compatibility with Zoning Ordinance

The intent of the CBD District is to: “...provide a combination of convenience and comparison retail goods and services serving the needs of a broader market area than the CN district. The community business district is generally characterized by an integrated or planned grouping of establishments served by common parking areas and oriented to pedestrian and vehicular traffic.”

The proposed use of the property is permitted in CBD.

Compatibility with Master Plan

The Master Plan designates the Future Land Use of this area and the surrounding parcels as 'Central Business District Core', which is intended to “encourage walkability, livability and economic growth within the CBD with a downtown-like feel” Appropriate land uses in this category include small office space (including medical offices). The proposal is compatible with the Master Plan.

PLANNER RECOMMENDATION

- ☐ APPROVE
- ☒ APPROVE WITH CONDITIONS
- ☐ REVISE AND RESUBMIT
- ☐ DENY

ATTACHMENTS

- ☒ SUBMITTED PLANS
- ☐ APPLICATION
- ☐ PUBLIC HEARING NOTICE
- ☐ PROOF OF OWNERSHIP
- ☐ PUBLIC COMMENTS
- ☐ AGENCY COMMENTS
- ☒ REVIEW AGAINST ZONING STANDARDS
- ☐ MISC.

Review Against Zoning Standards



1. CBD, Community Business District (Section 32-134)

a. Zoning and Land Use (Section 32-134 (1))

The site, located at 33050 Utica Road, is zoned CBD (Community Business District). The applicant, Fraser Eye Care, is proposing to obtain an existing 4,370 sf building for the use of their administrative clinic, add landscaping, outdoor seating and remove of three (3) parking spaces in front of the new existing building.

The intent of the CBD District is to: “...provide a combination of convenience and comparison retail goods and services serving the needs of a broader market area than the CN district. The community business district is generally characterized by an integrated or planned grouping of establishments served by common parking areas and oriented to pedestrian and vehicular traffic.”

The proposed use is permitted in the CBD.

b. Dimensional Requirements (Section 32-134(3))

The minimum lot size in the CBD district is at least equal to the first-floor area of the building, plus the space required for pedestrian circulation, parking, rights-of-way, access and easements. The required front yard setback is 60ft from the centerline of Utica Road. No side setback is required, and the rear yard setback required is that which allows for adequate parking provision.

The existing site meets dimension standards for the CBD district. The proposed site plan amendment does not affect the building's footprint.

2. Off-Street Parking and Loading Requirements (Article VI Section 32-93 through 32-97)

a. Parking

The site currently has 51 parking spaces. The minimum parking requirements are as follows:

Use	Requirement	Existing	Proposed	Proposed Compliance
Business Offices or free-standing administrative offices.	One (1) space for each one hundred fifty (150) square feet of gross floor area: 29 spaces required	4,370 SF 51 spaces	48 Spaces	Yes

The minimum number of parking spaces required is 29. The applicant proposes the removal of three (3) rear parking spaces, leaving 48 spaces and exceeding the necessary parking provision.

b. Ingress / Egress

Access to the front parking lot is currently via curb cuts on the north and south of the site from Utica Road. The rear parking lot is accessed via an access road, shared with the Schott's shopping center property, to the south of the property. No changes are proposed.

If one does not already exist, we recommend the applicant prepare and record a cross access agreement between the two parcels to ensure access is preserved in the event of an ownership change.

Recommendation:

1. The applicant provide a cross access agreement between the parcels at 33080 and 33050 Utica Road to the City Attorney for review prior to executing and recording the document with the Macomb County Register of Deeds.

c. Circulation On- and Off-Site

Site circulation is currently adequately provided for. No changes to the existing site circulation are proposed.

d. Loading / Unloading

A specific loading area is not designated on the plan. There is currently a service door on the building on the northern side of the rear façade. The Ordinance does not require a loading space for office uses, and we anticipate that loading will be able to be accomplished while avoiding undue interference with public use of the streets and alleys.

3. Landscaping (Section 32-88)

The applicant proposes plant five (5) foerster grass plants and three (3) spartan juniper evergreen trees along the north side of the rear parking lot along with four (4) Japanese lilac trees along the north side of the building.

Eight trees currently exist in the planting islands in the rear parking lot, meeting ordinance requirements for interior parking lot landscaping.

The front parking lot is required to have frontage landscaping and trees, one tree for every 30 feet of frontage. For this parcel's 106 feet of Utica Road frontage, four trees are required. Four trees have been proposed.

4. Signs (Section 32-85)

No new signs are proposed as part of this application.

5. Architecture and Building (Section 32-131)

This proposal removes the existing decorative gable from the west façade, adds a first-level window and removes the upper-story EIFS accents.

6. Screening (32-82)

The zoning ordinance requires that screening be required "between any use district that abuts any other use district". The site is bordered by properties also zoned CBD so no screening is required.

7. Lighting (Section 32-86)

The applicant proposes four (4) new LED wall scones and six (6) additional LED wall scones on the west side of the building. We do not anticipate any adverse effects from these lights. All lights must be shielded so as not to interfere with the vision of persons on adjacent roads or property, and no flashing, oscillating or intermittent lighting is permitted.

8. Reviewing Entities

The site plan is subject to review by all applicable departments and jurisdictions deemed necessary to ensure the health, safety, and welfare of the community.

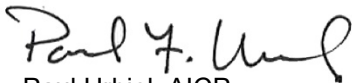
RECOMMENDATION

Given the analysis above, we recommend approval of the proposed site plan amendment with the following conditions:

1. The applicant provide a cross access agreement between the parcels at 33080 and 33050 Utica Road to the City Attorney for review prior to executing and recording the document with the Macomb County Register of Deeds.
2. The applicant obtains all other required City or other governmental reviews and approvals.

Respectfully,

McKENNA



Paul Urbiel, AICP
Senior Principal Planner

Cc: City of Fraser Development Review Team:
Building Official, City Attorney, City Engineer, Department of Public Works Superintendent

Kevin Tuchowski, Applicant

PROPOSED SITE & FACADE MODIFICATION FOR:
FRASER EYE CARE - ADMINISTRATION BLDG.
33050 Utica Road

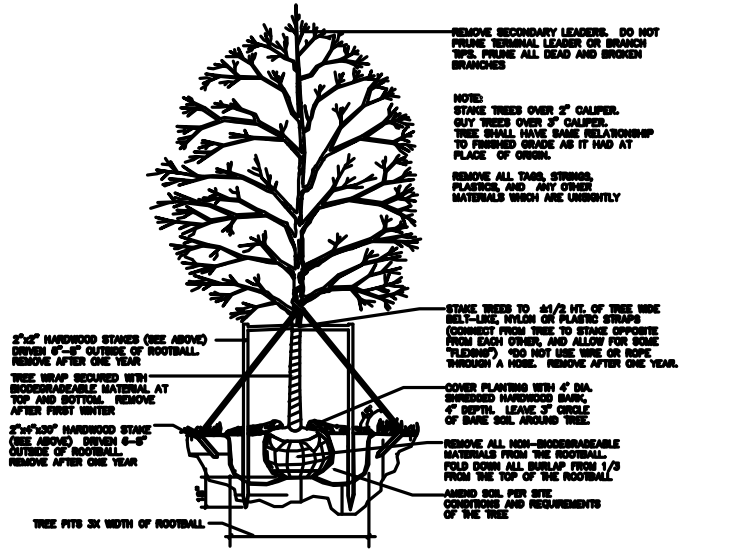
PROPERTY DESCRIPTION:

Part of Lot 79, Assessor's Plat No. 3, according to the plat thereof as recorded in Liber 14, Page 27 of Plats, Macomb County Records, described as follows: Beginning at the Northwest corner of Lot 79; thence North 88 degrees 12 minutes 20 seconds East 367.21 feet along the North lot line; thence South 01 degrees 55 minutes 40 seconds East 98.95 feet; thence South 88 degrees 12 minutes 20 seconds West 328.70 feet; thence North 23 degrees 01 minute 40 seconds West 106.24 feet to the point of beginning. Including an easement for ingress and egress over a 25 foot wide alley lying South of and adjacent to subject property.

LANDSCAPE SCHEDULE				
KEY	LOCATION	CONTAINER TYPE	PLANT NAME	COLOR/VARIETY
KFG	GRASS ISLAND NEXT TO PING PONG REC AREA	IN MULCHED BED	KARL FOERSTER GRASS	N/A
ISL	NORTH SIDE OF ADMIN BUILDING	PLANT IN GRASS, CREATE MULCHED CIRCULAR BED	JAPANESE LILAC TREE	IVORY SILK LILAC TREE
SJ	FAR GRASSY ISLAND EAST OF ADMIN BLDG (END OF BACK PARKING LOT)	PLANT IN GRASS, CREATE MULCHED CIRCULAR BED	SPARTAN JUNIPER EVERGREEN	N/A
BP	ALONG UTICA ROAD	B&B- CREATE MULCHED CIRCULAR BED	BRADFORD PEAR	6'-8'
NOTES: USE BLACK MULCH WHEREVER APPLICABLE QUANTITIES AND SIZES TO BE DETERMINED BY LANDSCAPER SEE LANDSCAPE PLAN FOR DETAILS OF EACH PLANTER				

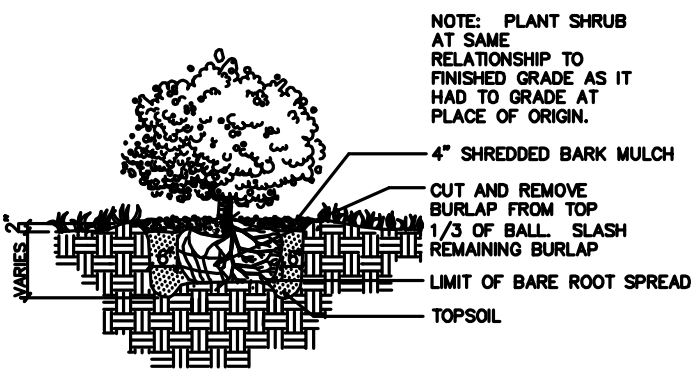
Electrical Specifications

- The electrical drawings are diagrammatical and are not to be scaled. The omission of an item necessary for proper functioning of the system does not relieve the electrical contractor from supplying same. Refer to the architectural plans and elevations for exact location of equipment and must conform with the Architect/Engineer (A/E).
- These plans do not show every detail of construction. The electrical Contractor (E.C.) is expected to thoroughly review the plans and requirements of the system and provide all items necessary for a complete and operational electrical system in conformance with the plans, diagrams and intended usage all subject to the acceptance of the A/E. Location and size of loads are to be checked with the owner or mechanical contractor and adjustments made accordingly
- Circuits and lighting fixtures are shown on the plans to determine load data: circuit, feeder, panel and service sizes. The E.C. shall otherwise provide circuits and circuit routing to suit job conditions and furnish and install lighting fixtures as shown on the plans or as otherwise approved by the A/E.
- Wire sizes shown are for the copper conductors, Aluminum conductors #2 and larger may be used if conductor and conduit sizes are adjusted accordingly and written approval of the A/E is obtained.
- Unless otherwise stated underground conduits may be either GR or schedule 48 PVC if installed in compliance with governing codes.
- All work is to be done by skilled craftsmen, in a permissible manner representative of the trade and in compliance with the National Electrical Code and all other applicable codes and regulations.
- The electrical system shall be completely and effectively grounded as required by the N.E.C. and as detailed on the plans. Ground fault protected outlets and circuits shall be installed as required by N.E.C.
- The electrical installation, devices and equipment shall conform to the requirements of the power company and the telephone company having jurisdiction.
- Verify location of all telephone and television outlets with owner.



TREE PLANTING DETAIL

no scale



SHRUB PLANTING DETAIL

no scale

SITE SUMMARY

PROJECT DESCRIPTION:

Proposal to remove a total of 3 parking spaces adjacent to the building to the east to accommodate a raised concrete platform for a staff outdoor ping pong table. In addition, this building will be utilized in the future as an administrative building for the clinic of which building plans will be submitted under a separate cover / permit.

PROPERTY ADDRESS: 33050 UTICA ROAD, FRASER

BUILDING DATA:

Existing Buildings: Future Administrative Bld. (Formerly Restaurant): 4,370 sq. ft.

Total Building Area: 4,370 sq. ft.

SITE DATA:

Site Area: (Existing) 34,462 sq. ft. (.79 acres)

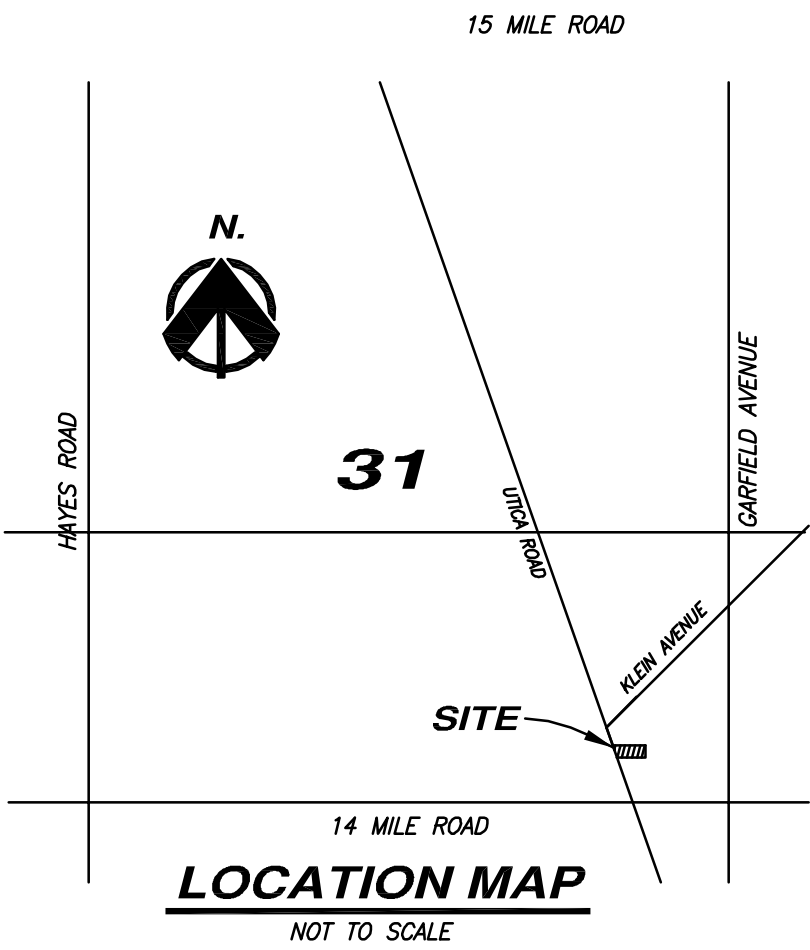
Building Coverage: 4,370 sq. ft. 12.6% (Existing)
Impervious Area: 26,834 sq. ft. 77.9% (Existing)
Landscape Area: 3,258 sq. ft. 9.5% (Existing)
Zoning: CBD (Community Business District)

PARKING REQUIREMENTS:

Proposed Administrative Bld. (Office Use)
4,370 sq. ft. (gross) / 150 = 29 spaces
Total Parking Required : 29 spaces
Total Parking Provided (Existing) : 51 spaces

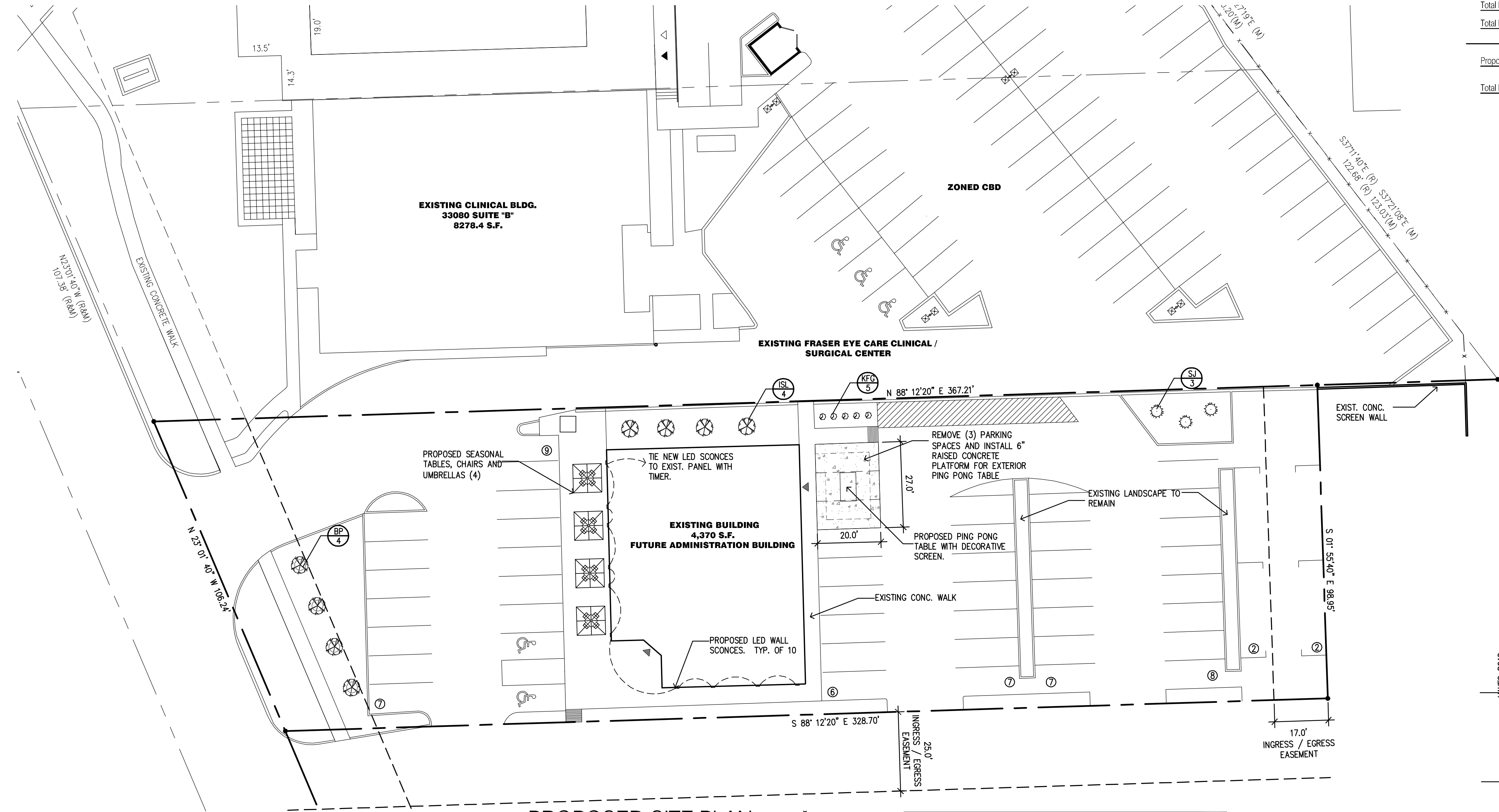
Proposed Parking To Be Removed : 3 spaces

Total Proposed Parking : 48 spaces
Including 2 Barrier Free Spaces



LOCATION MAP

NOT TO SCALE



PROPOSED SITE PLAN

SCALE: 1" = 20'

NOTE:
ALL PARKING SHOWN IS EXISTING, UNLESS OTHERWISE NOTED.

DO NOT SCALE DRAWINGS. DIMENSIONS ARE FINAL FOR CONSTRUCTION

tdsa architects
architects | planners | interiors

TDSA ARCHITECTS, PLLC
PO BOX 183855
SHELBY TWP., MICHIGAN 48318
P. 586+876.2516

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Know what's below
Call before you dig.

ISSUED:	
6-22-21	RELEASED FOR CITY REVIEW
7-27-21	RELEASED FOR PLANNING COMMISSION

PROJECT:

PROPOSED SITE AND
FACADE
MODIFICATIONS FOR:
FRASER EYE CARE

CLIENT:
FRASER EYE CARE
33050 UTICA ROAD
FRASER, MICHIGAN

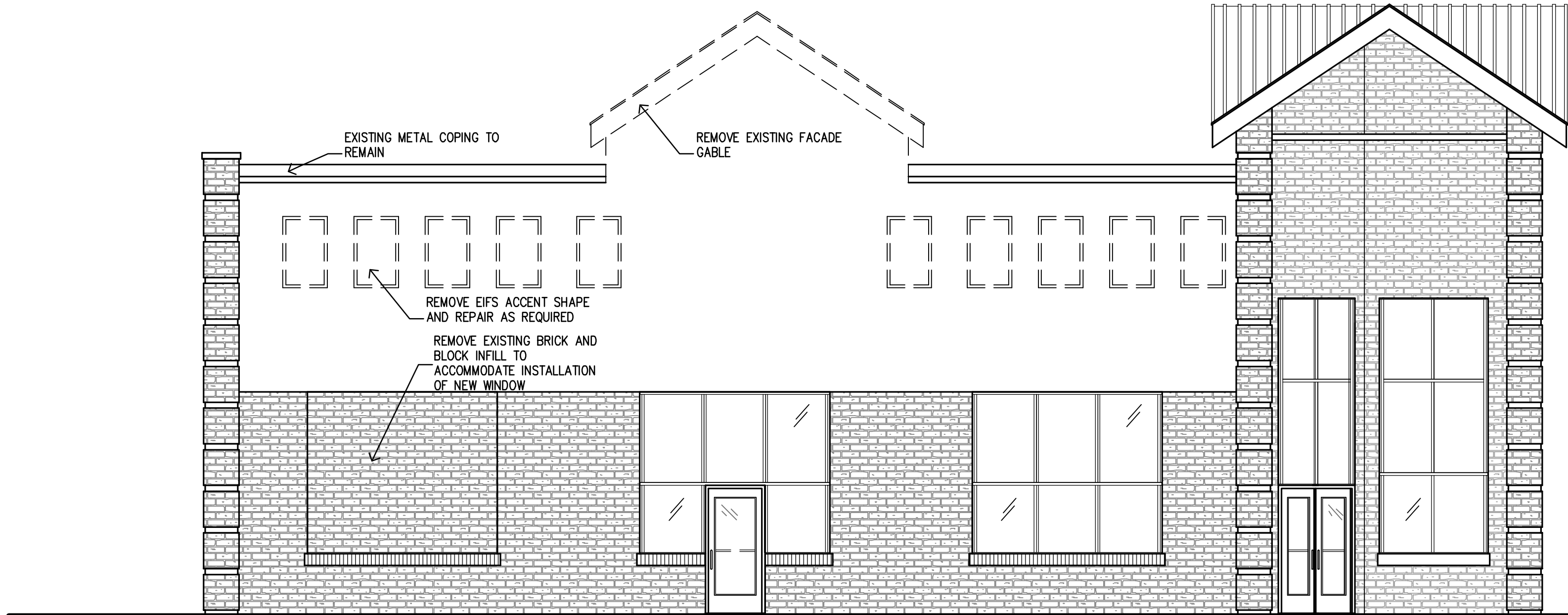
SHEET TITLE:

PROPOSED SITE PLAN
MODIFICATIONS

PROJECT #:	2021-1075	DATE:	5-20-21
DRAWN BY:	CM	CHECKED BY:	KJT

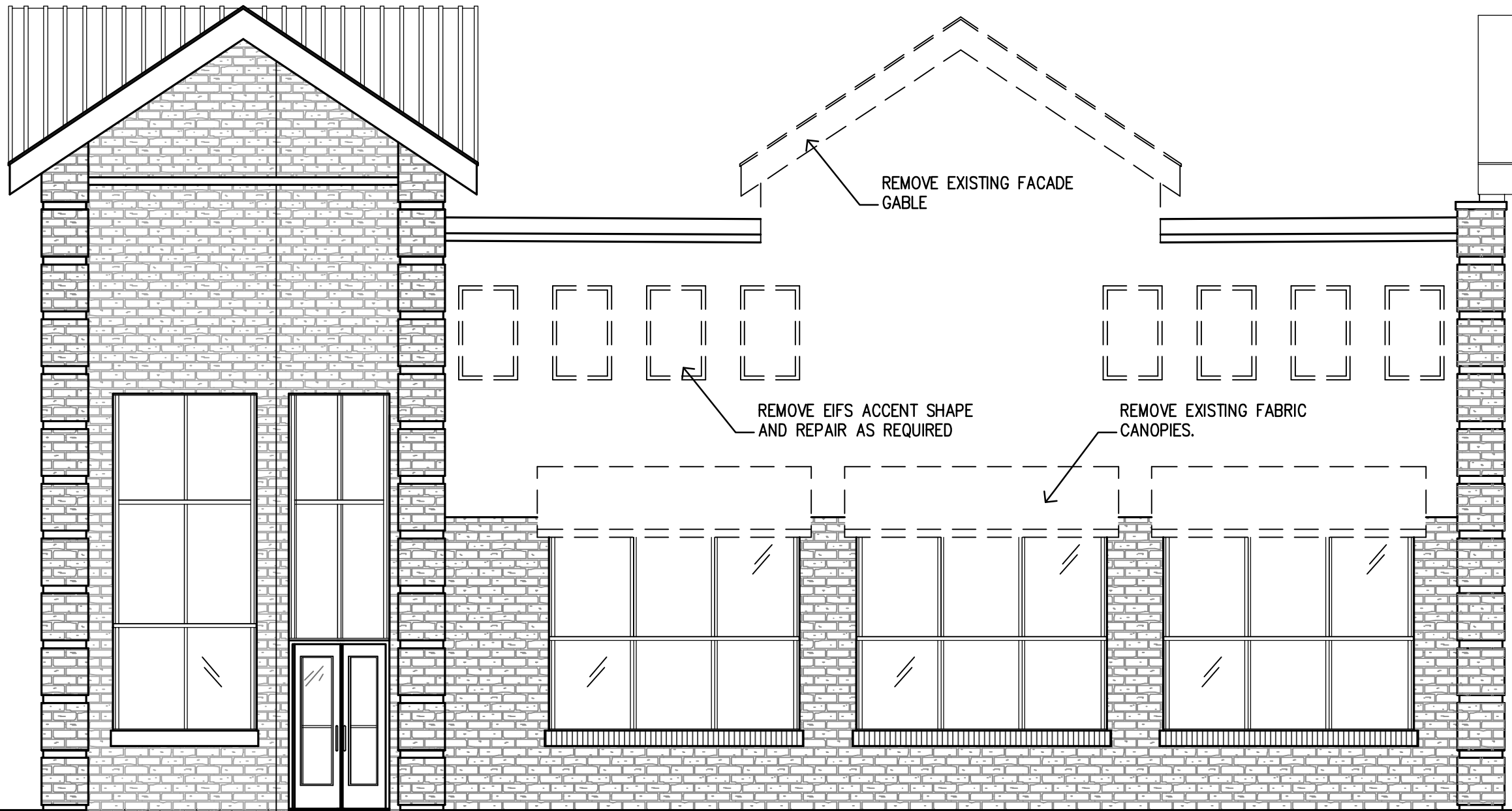
SHEET NUMBER:

C1.01



EXISTING WEST ELEVATION

SCALE: 3/16" = 1'-0"

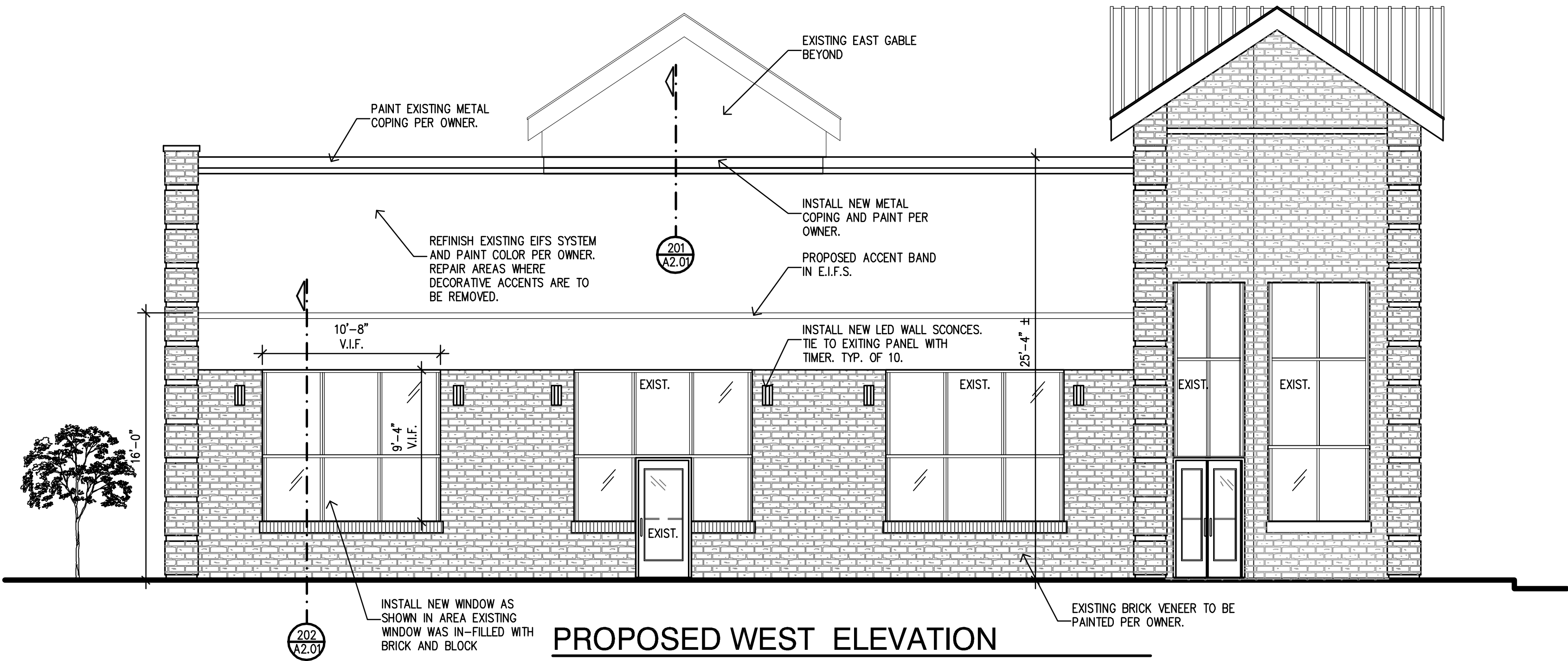


EXISTING SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

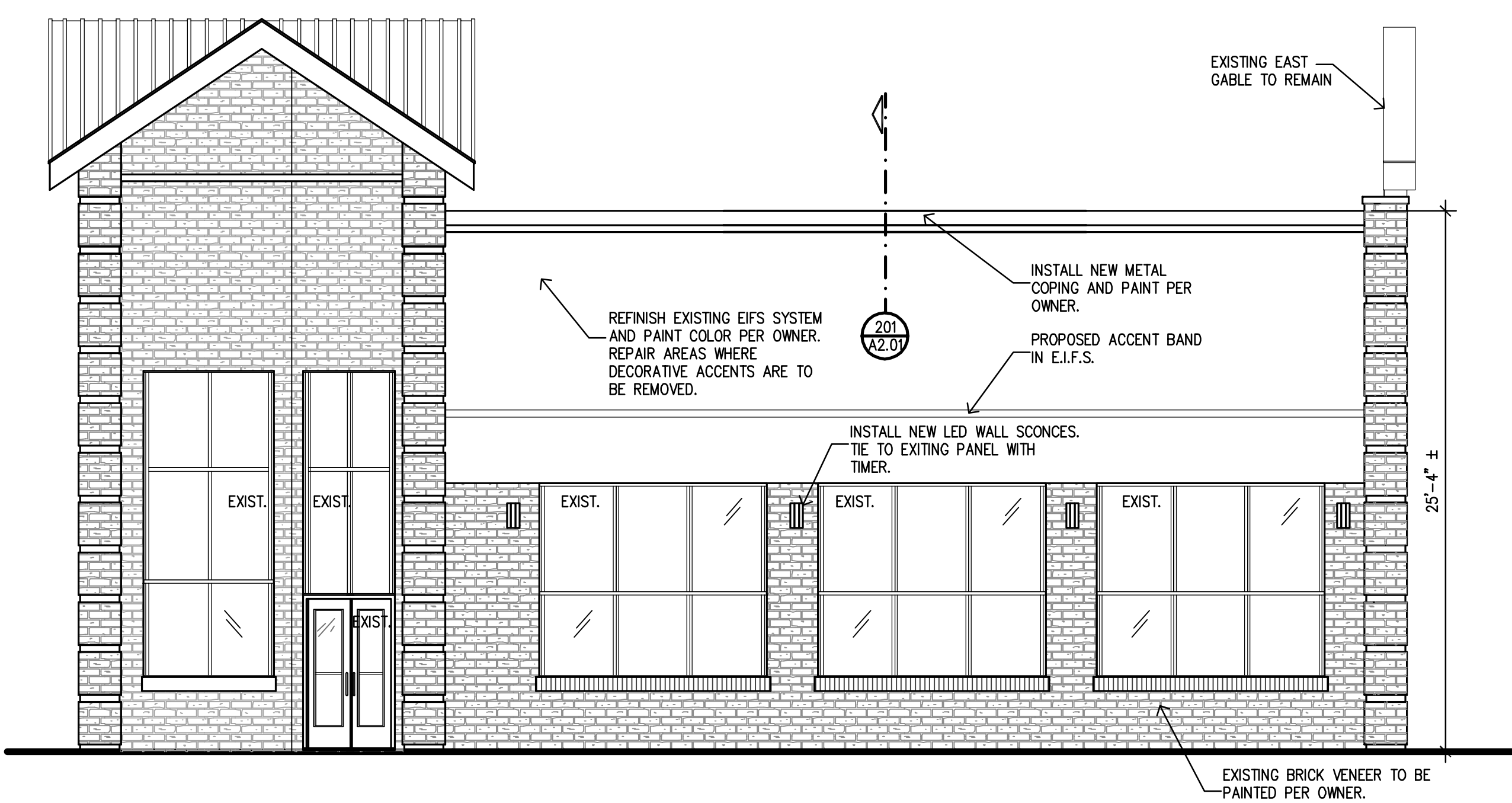
NOTE:
NO PROPOSED CHANGES TO THE NORTH AND EAST FACADE SHALL
BE PART OF THE SCOPE OF WORK OTHER THAN REPAINTING OF THE
BRICK AND E.I.F.S. COLOR PER OWNER.

ISSUED:	
6-22-21	RELEASED FOR CITY REVIEW
7-27-21	RELEASED FOR PLANNING COMMISSION



PROPOSED WEST ELEVATION

SCALE: 3/16" = 1'-0"



PROPOSED SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

PROJECT:
**PROPOSED SITE &
FACADE
MODIFICATIONS FOR:**
FRASER EYE CARE-ADMINISTRATION

CLIENT:
FRASER EYE CARE
33050 UTICA ROAD
FRASER, MICHIGAN

SHEET TITLE:
**EXTERIOR
ELEVATIONS**

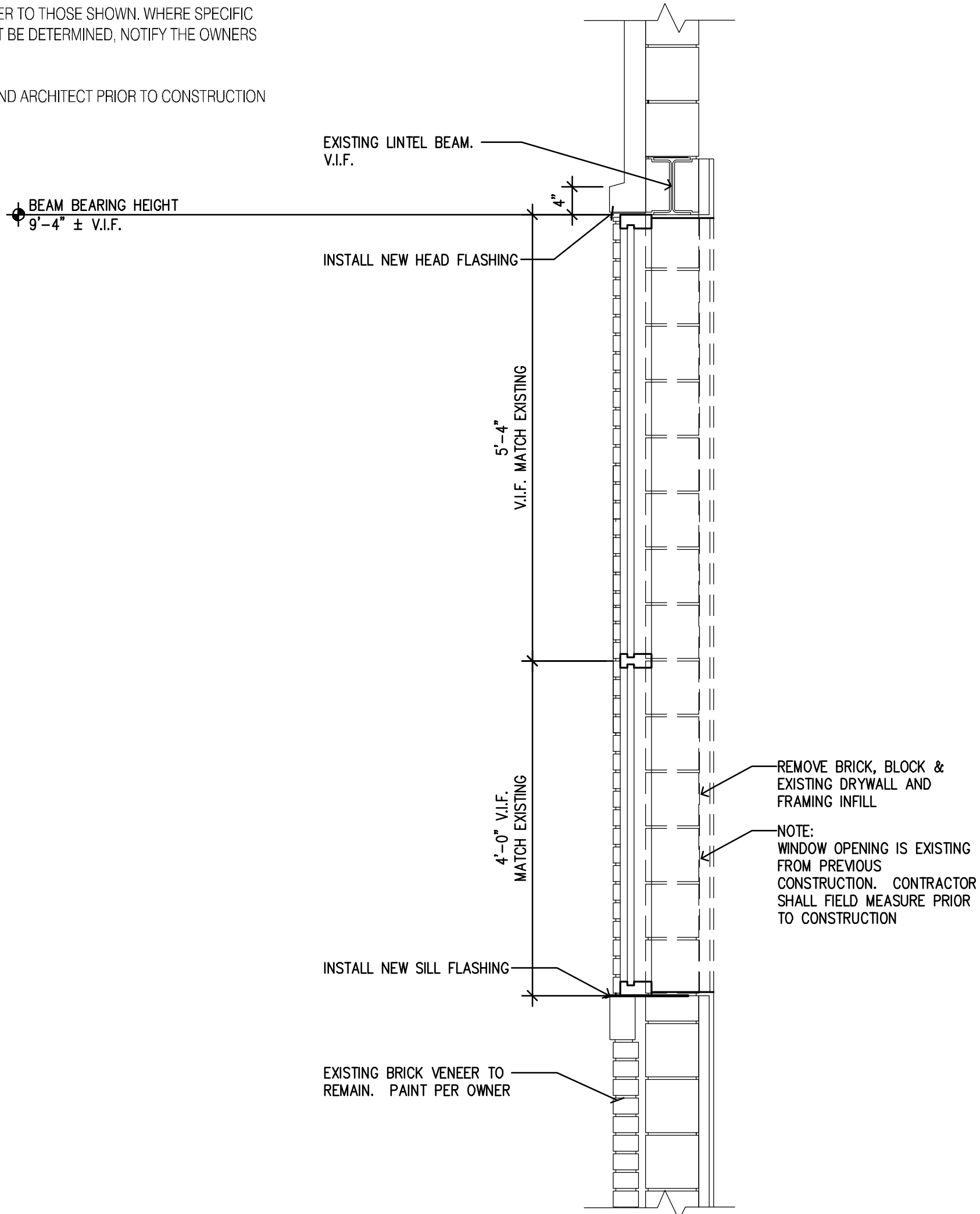
PROJECT #:	2021-1075	DATE:	5-20-21
DRAWN BY:	CM	CHECKED BY:	KJT
SHEET NUMBER:			

GENERAL NOTES:

- ALL WORK TO COMPLY WITH LOCAL, STATE AND NATIONAL BUILDING CODES (REFER TO PROJECT INFORMATION SHEET CS-1).
- THESE NOTES ARE FOR GENERAL REFERENCE ONLY; WHERE CONFLICTS EXIST BETWEEN THESE NOTES AND CURRENT CODES THE MORE STRINGENT REQUIREMENTS SHALL PREVAIL.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL REQUIRED BUILDING PERMITS AND ENSURE THAT ALL WORK CONFORMS TO ALL APPLICABLE BUILDING CODES.
- ALL CONSTRUCTION SITES ARE REQUIRED TO BE MAINTAINED IN A SAFE CONDITION AND TO BE PROTECTED FROM UNAUTHORIZED ENTRY.
- DO NOT SCALE DRAWINGS; USE PRINTED DIMENSIONS ONLY. IF ANY DISCREPANCY OCCURS, NOTIFY THE DESIGNER IMMEDIATELY FOR DIRECTION. CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS ARE TO BE CONSIDERED NOMINAL UNLESS OTHERWISE NOTED. DIMENSIONS SHALL BE FACE TO FINISH, CENTERLINE OF COLUMN OR AS OTHERWISE SPECIFICALLY INDICATED.
- ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH THE WORK. ANY AND ALL DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND DOCUMENTS SHALL BE REPORTED TO THE OWNERS REPRESENTATIVE PRIOR TO COMMENCING WITH THE WORK.
- MATERIALS OR CONSTRUCTION PROCEDURES WHICH ARE PROHIBITED BY LAW OR SHALL CAUSE A HARMFUL EFFECT TO THE NATURAL ENVIRONMENT OR TO THE HEALTH OF ANY PERSON ON THE SITE DURING CONSTRUCTION AND/OR DURING OCCUPANCY SHALL NOT BE USED IN THIS PROJECT.
- VERIFY SITE CONDITIONS BEFORE BEGINNING CONSTRUCTION. ALL NEW AND EXISTING DIMENSIONS, MEMBER SIZES, MATERIALS AND CONDITIONS SHOWN ON THE DRAWINGS. IF DISCREPANCIES ARE FOUND, NOTIFY THE ARCHITECT OR ENGINEER, IN WRITING, BEFORE PROCEEDING WITH THE WORK.
- THE GENERAL CONTRACTOR SHALL HAVE DIRECT CONTROL AND MANAGEMENT OF ALL CONSTRUCTION OPERATIONS AND BE RESPONSIBLE FOR THE SATISFACTORY OVERALL PERFORMANCE OF ALL HIS SUPPLIERS AND SUBCONTRACTORS AS WELL AS ANY AND ALL OWNER ASSIGNED CONTRACTORS.
- THE GENERAL CONTRACTOR SHALL SUBMIT DEFERRED DOCUMENTS/ SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW PRIOR TO THE FABRICATION OF ANY WORK NOTED OR SPECIFIED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND PROPER INSTALLATION FOR SAID WORK.
- THE GENERAL CONTRACTOR IS TO RECEIVE, HANDLE, (STORE IF NECESSARY) AND BE RESPONSIBLE FOR ALL MATERIALS PROVIDED BY OTHERS. ALL MATERIALS SHALL BE ACCOUNTED FOR UPON RECEIPT. ANY MISSING OR DAMAGED PARTS SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
- THE GENERAL CONTRACTOR IS TO INSTALL ANY NEW FIRE EXTINGUISHERS AS REQUIRED BY LOCAL AUTHORITIES. THE EXACT LOCATION AND TYPES OF NEW EXTINGUISHERS WILL BE COORDINATED WITH THE BUILDING INSPECTOR, FIRE MARSHALL AND OWNERS REPRESENTATIVE ON SITE. SEE LIFE SAFETY PLAN FOR APPROXIMATE LOCATIONS AND SPECIFICATIONS FOR TYPE.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING FIRE SUPPRESSION INSTALLATION. CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE CODES AND REGULATIONS.
- THE GENERAL CONTRACTOR & OWNER TO COORDINATE AND VERIFY ALL KEYING AND LOCKING OF ALL DOORS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR TURNING OVER THE PREMISES IN A CLEAN CONDITION READY FOR OWNER TO BEGIN OPERATION AT THE CONCLUSION OF CONSTRUCTION. THIS INCLUDES CLEANING ALL WINDOWS (INSIDE AND OUT), REMOVAL OF DUST FROM SURFACES, FINAL VACUUMING OF CARPETS, SANITIZATION OF EQUIPMENT, AND FINAL CLEANING OF DUCTWORK.

GENERAL NOTES: (CONT'D)

- THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR SCHEDULING AND PASSING ANY INSPECTIONS REQUIRED BY STATE AND LOCAL BUILDING & ENGINEERING DEPARTMENT.
- ALL FIRE SUPPRESSION WORK MUST COMPLY WITH ALL STATE AND LOCAL CODES AND ORDINANCES. THIS ITEM IS A PERMIT CONDITION. IT REQUIRES A SEPARATE PERMIT PRIOR TO START OF CONSTRUCTION.
- FIRE SUPPRESSION CONTRACTOR IS TO SUBMIT COMPLETE SHOP DRAWINGS FOR ARCHITECTS REVIEW AND COORDINATION AND IS RESPONSIBLE FOR OBTAINING ALL STATE AND LOCAL REVIEWS, APPROVALS AND PERMITS. THIS ITEM IS A PERMIT CONDITION. IT REQUIRES A SEPARATE PERMIT PRIOR TO START OF CONSTRUCTION.
- ALL HANDRAILS AND GRAB BARS TO COMPLY WITH CURRENT ICC/ANSI A117.1-2009 REGULATIONS
- HOLD ALL DOORS, HINGE SIDE 4" FROM NEAR WALL TO OPENING OF FRAME, UNLESS OTHERWISE NOTED. DOOR SIZE INDICATED IS WIDTH OF DOOR(S).
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
- CEILINGS OF ALL TOILET ROOMS TO HAVE 3.5" SOUND ATTENUATION INSULATION.
- ALL PARTITION WALLS IN PUBLIC TOILET ROOMS TO INCLUDE AT LEAST 3.5" SOUND ATTENUATION INSULATION INSIDE WALL CAVITIES.
- PROVIDE BLOCKING IN WALLS FOR HAND RAILS, TOILET ROOM GRAB BARS, ACCESSORIES, WALL HUNG CABINETS AND ALL OTHER WALL SUPPORTED ITEMS.
- ALL PENETRATIONS THROUGH RATED ASSEMBLIES TO BE FIRE BLOCKED, CAULKED, DAMPERED, OR STOPPED AS REQUIRED BY ALL STATE AND LOCAL REGULATIONS. (SEE UL PENETRATIONS SHEET GN-2 AND GN-3).
- PROVIDE GYP. BD. CONTROL JOINTS @ 30'-0" O.C. MAX. AND AT LOCATIONS WHERE FRAMING CHANGES DIRECTION.
- COORDINATE EXACT LOCATIONS OF ALL FLOOR DRAINS W/ MECHANICAL TRADES.
- MAINTAIN CEILING AND WALL RATING BEHIND RECESSED LIGHT FIXTURES. RECESSED AND SEMI-RECESSED FIRE EXTINGUISHER CABINETS, W/ (2) LAYERS 3/4" FIRE CODE GYP. BD. PACK ALL VOIDS WITH MINERAL WOOL. PROVIDE FIRE CODE GYP. BD. BOX TO MAINTAIN CEILING FIRE RATING AND OR WIRE GAGE TO MAINTAIN PROPER CLEARANCE BETWEEN LIGHT FIXTURES AND SURROUNDINGS INSULATED AT RECESSED LIGHT FIXTURES.
- THE CONTRACTOR IS TO LOCATE AND INSTALL EXIT SIGNS AND DEVICES OVER EXIT DOORS. EXIT SIGNS MAY ALSO BE REQUIRED TO PROPERLY IDENTIFY THE PATHWAY LEADING TO THE EXIT IN ACCORDANCE WITH THE BUILDING CODE AND AS DIRECTED BY THE FIRE MARSHALL AND ANY OTHER AUTHORITY HAVING JURISDICTION. EXIT SIGNS INDICATED ON THESE DRAWINGS ARE NOT INCLUSIVE OF ALL EXIT SIGNS REQUIRED.
- PROVIDE EMERGENCY LIGHTING AS DESIGNATED BY THE FIRE MARSHALL TO ILLUMINATE THE EXIT ACCESS IN CASE OF A POWER OUTAGE. CONTRACTOR SHOULD CONTACT THE FIRE MARSHALL FOR PROPER PLACEMENT OF EMERGENCY LIGHTING UNITS.
- EXTEND ALL VENTS AND MECHANICAL PENETRATIONS THROUGH ROOF.
- A FIRE ALARM SYSTEM SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 907.2.6 AND 907.2.6.2.
- EXPPOSED FRAMING TO BE METAL STUD CONSTRUCTION AS REQUIRED.
- DETAILS NOT INDICATED ARE SIMILAR IN CHARACTER TO THOSE SHOWN. WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CAN NOT BE DETERMINED, NOTIFY THE OWNERS REPRESENTATIVE FOR CLARIFICATION.
- ALL DOORS HEIGHTS TO BE VERIFIED W/ OWNER AND ARCHITECT PRIOR TO CONSTRUCTION



202 A1.01 WINDOW DETAIL SCALE: 3/4" = 1'-0"

ADDITIONAL GENERAL NOTES

- To the best of our knowledge, these plans and specifications comply with applicable building codes.
- Any variation of these documents are strictly prohibited unless written consent is obtained from an Architect.
- The Architect shall not be responsible for the acts of omissions of the contractor or his subcontractor, agents or employees.
- Each bidder shall visit the site and familiarize himself with all conditions under which the work is to be performed.
- All work shall be done in accordance with state, local and all applicable codes.
- All soils under building must be compacted to 95 percent or higher. Fill must be clean, free of vegetation and debris. It is recommended that soil test and compaction tests be made by a soil engineer.
- Assumed soil bearing capacity: 2000 p.s.i
- All underground utilities construction shall be in accordance with the standards established by the governing authority having jurisdiction.
- Walkway accessibility to and in building shall be in accordance with Michigan Construction Code Commission.
- Handicapped parking and access are subject to the approval of the Building Department. Handicapped parking shall be posted above grade. All parking spaces shall be traffic striped and equipped with tire stops or curbing, if required by governing agency.
- Curb breaks, skirts, curbs and sidewalks in the right-of-way to be designed and constructed according to the governing authority having jurisdiction.
- Electrical distribution and transformer location, if any, to be designed by DTE. All on site distribution lines and service to the building to be underground.
- Drawings and specifications are and shall remain the property of the Architect.

GENERAL NOTES

- To the best of our knowledge, these plans and specifications comply with applicable building codes.
- Any variation of these documents are strictly prohibited unless written consent is obtained from an Architect.
- The Architect shall not be responsible for the acts of omissions of the contractor or his subcontractor, agents or employees.
- Each bidder shall visit the site and familiarize himself with all conditions under which the work is to be performed.
- All work shall be done in accordance with state, local and all applicable codes.
- All soils under building must be compacted to 95 percent or higher. Fill must be clean, free of vegetation and debris. It is recommended that soil test and compaction tests be made by a soil engineer.
- Assumed soil bearing capacity: 2000 p.s.i
- All underground utilities construction shall be in accordance with the standards established by the governing authority having jurisdiction.
- Walkway accessibility to and in building shall be in accordance with Michigan Construction Code Commission.
- Handicapped parking and access are subject to the approval of the Building Department. Handicapped parking shall be posted above grade. All parking spaces shall be traffic striped and equipped with tire stops or curbing, if required by governing agency.
- Curb breaks, skirts, curbs and sidewalks in the right-of-way to be designed and constructed according to the governing authority having jurisdiction.
- Electrical distribution and transformer location, if any, to be designed by DTE. All on site distribution lines and service to the building to be underground.
- Drawings and specifications are and shall remain the property of the Architect.

DEMOLITION NOTES

Types of Selective Demolition Work: Demolition requires the selective removal and subsequent off site disposal of the following:

- Portions of building structure indicated on drawings and as required to accommodate new construction.
- Removal of interior partitions as indicated on drawings.
- Removal of doors and frames indicated 'remove'.
- Removal of built-in casework indicated 'remove'.
- Removal of existing windows indicated to be bricked / blocked in.
- Removal and Protection of existing fixtures and equipment. Items of value are to be stored and released to owner as his property.

Schedule: Submit schedule indicating proposed sequence of operations for selective demolition work to Owner's Representative for review prior to commencement of work. Include coordination for shutoff, capping, and continuation of utility service as required, together with details for dust and noise control. Provide detailed sequence of demolition and removal work to ensure uninterrupted progress of Tenant's normal operations.

Occupancy: Tenant will be continuously occupying areas of the building immediately adjacent to areas of selective demolition. Conduct selective demolition work in a manner that will minimize need for disruption of Tenant's normal operations. Provide minimum of 72 hours advance notice to owner of demolition activities which impact Tenant's normal operations.

Condition of Structures: Owner assumes no responsibility for actual condition of items or structures to be demolished. Storage or sale of removed items on site will not be permitted.

Protections: Provide temporary barricades and other forms of protection as required to protect Tenants personnel and general public from injury due to selective demolition work. Protect from damage existing finish work that is to remain in place and becomes exposed during demolition operations. Protect floors with suitable coverings when necessary. Construct temporary insulated solid dust proof partitions where required to separate areas where noisy or extensive dirt or dust operations are performed. Equip partitions with dust proof doors and security locks if required. Remove protections at completion of work.

Damages: Promptly repair damages caused to adjacent facilities by demolition work at no cost to Owner.

Traffic: Conduct selective demolition operations and debris removal in a manner to ensure minimum interference with roads, streets, walks, and other adjacent occupied or used facilities.

Utility Services: Maintain existing utilities indicated to remain, keep in service, and protect against damage during construction. Do not interrupt existing serving occupied or used facilities, except when authorized in writing. Provide temporary services during interruptions to existing utilities, as acceptable to governing authorities.

Inspection: Prior to commencement of selective demolition work, inspect areas in which work will be performed. Photograph existing conditions to structure surfaces, equipment, or to the surrounding, properties which could be misconstrued as damage resulting from selective demolition work; file with Owner's Representative prior to starting work.

Preparation: Provide Interior and exterior shoring, bracing, or support to prevent movement, settlement or collapse of structures to be demolished and adjacent facilities to remain. Cease operations and notify Owner's Representative immediately if safety of structure appears to be endangered. Take precautions to support structure until determination is made for continuing operations.

Cover and Protect: Furniture, equipment and fixtures to remain from soiling or damage and protect when demolition work is performed in rooms or areas from which such items have not been removed.

Locate, Identify, Shut Off and Disconnect: utility service that are not indicated to remain.

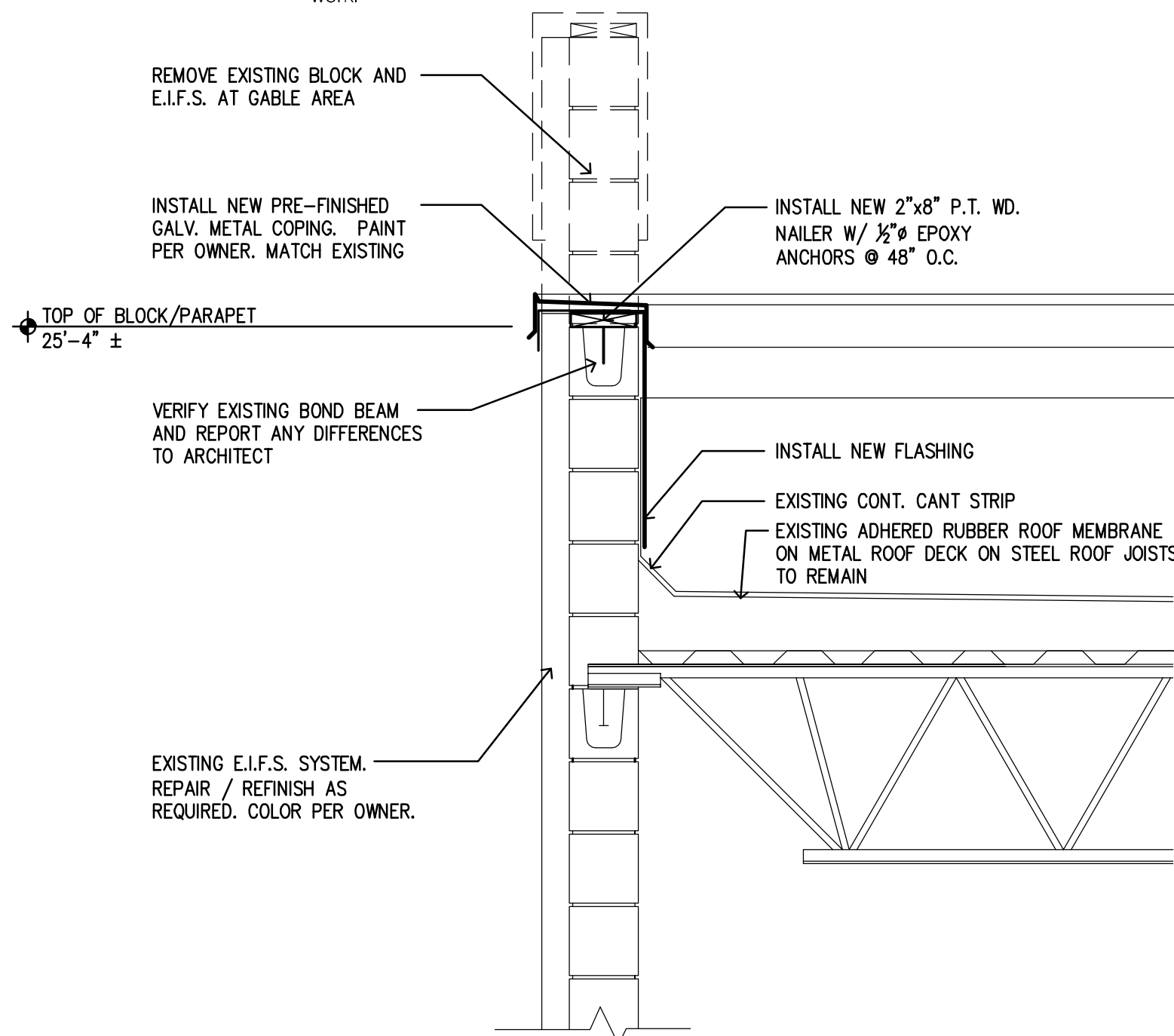
Demolition: Perform selective demolition work in systematic manner. Demolish concrete and masonry at junctures with construction to remain using power-driven masonry saw or hand tools. Provide service for effective air and water pollution controls as required by local authorities having jurisdiction. Demolish and remove below-grade wood or metal construction. Break up below-grade concrete slabs. Immediately replace deteriorated wood joists, roof sheathing, or structural members at the time of their removal.

If Unanticipated Mechanical, electrical or structural elements which conflict with intended function or design are encountered, investigate and measure both nature and extent of conflict. Submit report to Owner's Representative in written, accurate detail. Pending receipt of directive from Owner's Representative rearrange selective demolition schedule as necessary to continue overall job progress without delay.

Disposal of Demolished Materials: remove Debris, rubbish and other materials resulting from demolition operations from building site. Transport and legally dispose of materials off site. If hazardous materials are encountered during demolition operations, comply with applicable regulations, laws and ordinances concerning removal, handling and protection against exposure or environmental pollution. Burning of removed materials not permitted on project site.

Clean up and Repair: Upon completion of demolition work, remove tools, equipment, and demolished materials from site. Remove protections and leave interior area broom clean.

Repair demolition performed in excess of that required. Return structures and surfaces to remain in condition existing prior to selective demolition work. Repair adjacent construction or surfaces soiled or damaged by selective demolition work.



201 A1.01 WALL DETAIL SCALE: 3/4" = 1'-0"

DO NOT SCALE DRAWINGS. DIMENSIONS ARE FINAL FOR CONSTRUCTION

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ISSUED:	
6-22-21	RELEASED FOR CITY REVIEW
7-27-21	RELEASED FOR PLANNING COMMISSION

PROJECT:
PROPOSED SITE & FACADE MODIFICATIONS FOR:
FRASER EYE CARE--ADMINISTRATION

CLIENT:
FRASER EYE CARE
33050 UTICA ROAD
FRASER, MICHIGAN

SHEET TITLE:

WALL DETAILS & NOTES

PROJECT #:	2021-1077	DATE:	5-20-21
DRAWN BY:	CM	CHECKED BY:	KJT

SHEET NUMBER:

A2.01

6B. Site Plans and Other Reviews

iv. SP21-07/ KEVIN TUCHOWSKI ON BEHALF OF
MAHDI BASHA / 33080 UTICA ROAD / PROPOSED
SITE PLAN AMENDMENT

Contents:

1. City Planner (McKenna) Review Letter
2. Site Plan Submission

Site Plan Review Summary

Site Plan Amendment Dated 7/27/21
City of Fraser, Michigan

SP 21-06



SITE ADDRESS / LOCATION 33080 Utica Road	APPROVING BODY Planning Commission	PUBLIC HEARING DATE June 2, 2021 for Special Land Use
STAFF REPORT CONTACT INFORMATION Building Clerk – Jennifer Mellar – (586) 293-3100 ext. 154 Planning Consultant – Paul Urbiel, AICP – (313) 888-9882	APPLICANT / PROPERTY OWNER Kevin Tuchowski, AIA on behalf of Fraser Eye Care	

BRIEF SUMMARY OF REQUEST:

The applicant is proposing to amend a previously-approved site plan, replacing 6 parking spaces in the front yard with landscaping.



	SITE ZONING + LAND USE	SURROUNDING ZONING + LAND USE	SITE IMPROVEMENTS	SIZE OF SITE + FRONTAGE
EXISTING SITE INFORMATION:	CBD – Community Business District; Medical Office / Clinic	Other commercial sites zoned CBD – Community Business District, One-Family Residential zoned RM - Residential Medium	New landscaping and patio, removal of 6 (six) parking spaces	Total site area = 2.08 acres 121 ft. frontage on Utica Road

Compatibility with Zoning Ordinance

The intent of the CBD District is to: "...provide a combination of convenience and comparison retail goods and services serving the needs of a broader market area than the CN district. The community business district is generally characterized by an integrated or planned grouping of establishments served by common parking areas and oriented to pedestrian and vehicular traffic."

The current use of the property is permitted in CBD and is not proposed to change.

Compatibility with Master Plan

The Master Plan designates the Future Land Use of this area and the surrounding parcels as 'Central Business District Core', which is intended to "encourage walkability, livability and economic growth within the CBD with a downtown-like feel" Appropriate land uses in this category include small office space (including medical offices). The Master Plan also calls for better use for underutilized parking areas, as well as the provision of functional public greenspace. Though the proposed project creates a greenspace intended for private use, it would improve the aesthetics of the Utica road frontage and put land currently used for parking to a better, more active use. The proposal is compatible with the Master Plan.

PLANNER RECOMMENDATION

- ☐ APPROVE
- ☒ APPROVE WITH CONDITIONS
- ☐ REVISE AND RESUBMIT
- ☐ DENY

ATTACHMENTS

- ☒ SUBMITTED PLANS
- ☐ APPLICATION
- ☐ PUBLIC HEARING NOTICE
- ☐ PROOF OF OWNERSHIP
- ☐ PUBLIC COMMENTS
- ☐ AGENCY COMMENTS
- ☒ REVIEW AGAINST ZONING STANDARDS
- ☐ MISC.

1. CBD, Community Business District (Section 32-134)

a. Zoning and Land Use (Section 32-134 (1))

The site, located at 33080 Utica Road, is zoned CBD (Community Business District). The applicant, Fraser Eye Care, has an existing 17,699.4 sf building for the use of their clinic and surgical office. The applicant proposes to remove six (6) front parking spaces to add outdoor patio seating along with landscaping in the front yard.

The intent of the CBD District is to: *“...provide a combination of convenience and comparison retail goods and services serving the needs of a broader market area than the CN district. The community business district is generally characterized by an integrated or planned grouping of establishments served by common parking areas and oriented to pedestrian and vehicular traffic.”*

The existing use of the building is permitted in CBD.

b. Dimensional Requirements (Section 32-143 (3))

The minimum lot size in the CBD district is at least equal to the first-floor area of the building, plus the space required for pedestrian circulation, parking, rights-of-way, access and easements. The required front yard setback is 60ft from the centerline of Utica Road. No side setback is required, and the rear yard setback required is that which allows for adequate parking provision.

The existing site meets dimension standards for the CBD district. The proposed site plan amendment does not affect the building.

2. Off-Street Parking and Loading Requirements (Article VI Section 32-93 through 32-97)

a. Parking

In 2019, the Planning Commission approved the expansion of the parking lot for the use of the clinic on this parcel and the surgical center for the parcel adjacent to the north, conditioned on ZBA approval for a modified greenbelt, combination of the northern two parcels and cross-access and shared parking agreements between the two parcels that remain. Those conditions have been fulfilled. The parking lot is currently nearing completion for construction.

The proposal removes the six parking spaces in the front (Utica Road-facing) yard. The geometry and access for these parking spaces is operationally challenging, and the access drive is too narrow to service two-way traffic. We understand that the applicant typically does not allow customer parking in these spaces for these reasons.

The minimum number of parking spaces required for the previously-approved development is 91. The building use is not proposed to change. The applicant proposes to reduce the proposed parking from 113 spaces to 107 parking spaces, which still meets the requirement.

b. Ingress / Egress

Access to the parking area is provided via Utica Road and Klein Avenue and is not proposed to change. The south access drive is shared with 33050 Utica Road, recently acquired by the applicant and subject to another site plan review scheduled for Planning Commission approval at this meeting. If one does not already exist, we recommend the applicant prepare and record a cross access agreement between the two parcels to ensure access is preserved in the event of an ownership change.

Recommendation:

1. The applicant provide a cross access agreement between the parcels at 33080 and 33050 Utica Road to the City Attorney for review prior to executing and recording the document with the Macomb County Register of Deeds.

c. Circulation On- and Off-Site

We anticipate that the proposed addition will improve site circulation, as all of the parking will be located to the rear of the building, and the remaining access drives are better able to accommodate site circulation.

d. Loading / Unloading

Loading currently occurs in the rear of the building. No modifications to the loading space or circulation pattern are proposed.

3. Landscaping (Section 32-84)

The renovated front yard is proposed to be planted with sod. A patio with tables and umbrellas for seasonal use is proposed. This area is proposed to be screened by an evergreen (arborvitae) hedge. Ornamental grasses are proposed along the building façade. All landscaping is proposed to be irrigated per ordinance requirements. We believe this proposal will improve the appearance of the Utica Road frontage for this property.

4. Signs (Section 32-85)

No new signs are proposed as part of this application.

5. Architecture and Building (Section 32-131)

The applicant is not proposing changes to the existing building architecture as part of this application.

6. Screening (32-82)

The zoning ordinance requires that screening be required “between any use district that abuts any other use district”, and residential uses must be screened from nonresidential uses. The parcel at 33080 Utica is surrounded by parcels zoned CBD. The applicant received a variance from the ZBA in 2019 for a 5' greenbelt and a vinyl fence between the property to the north of 33080 and the residential property it abuts.

7. Lighting (Section 32-86)

No new lighting is proposed as part of this application.

8. Reviewing Entities

The site plan is subject to review by all applicable departments and jurisdictions deemed necessary to ensure the health, safety, and welfare of the community.

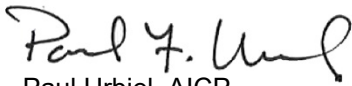
RECOMMENDATION

Given the analysis above, we recommend approval of the proposed removal of parking, addition of outdoor seating and landscaping with the following conditions:

1. The applicant provide a cross access agreement between the parcels at 33080 and 33050 Utica Road to the City Attorney for review prior to executing and recording the document with the Macomb County Register of Deeds.
2. The applicant obtains all other required City or other governmental reviews and approvals.

Respectfully,

McKENNA



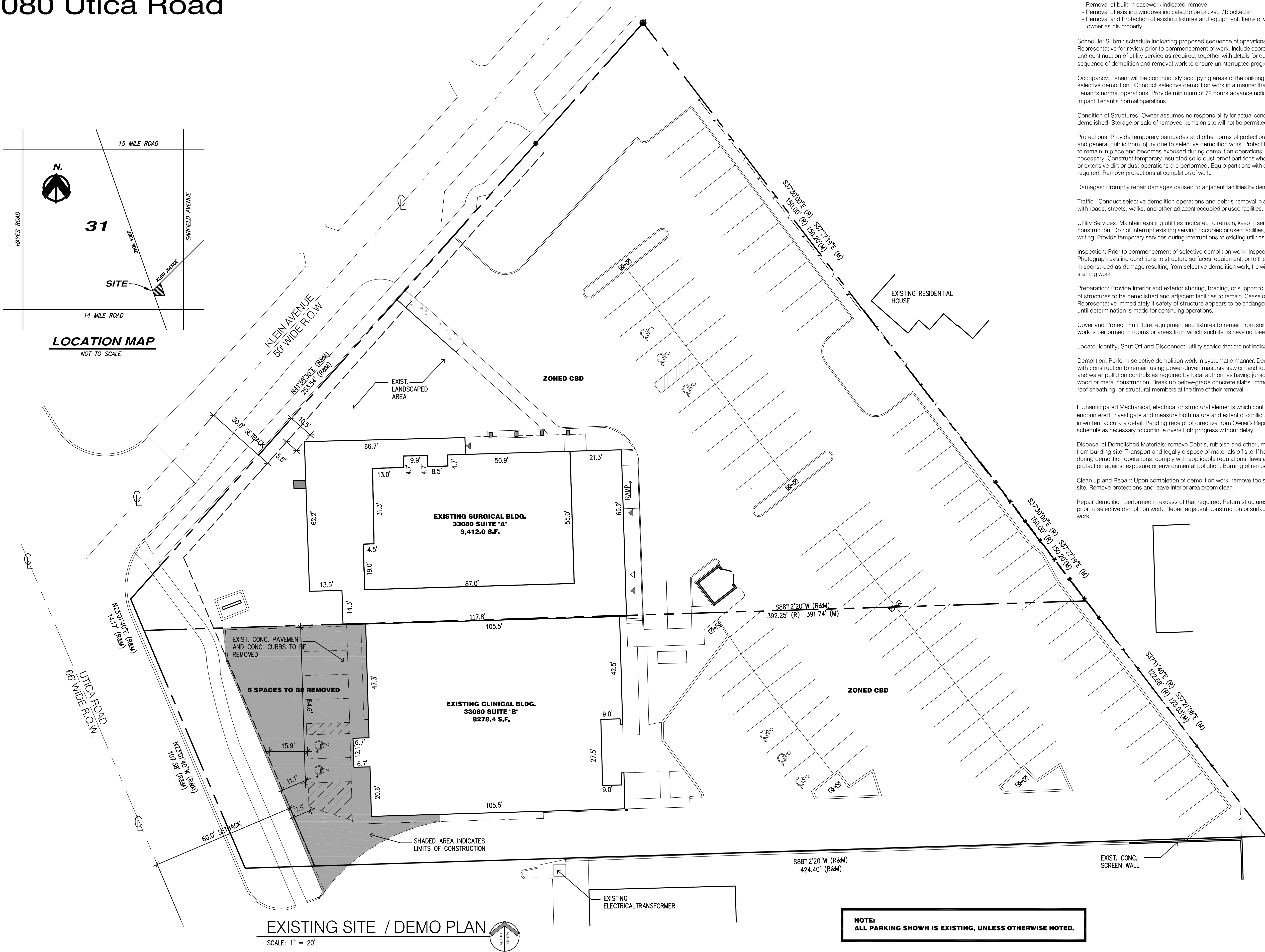
Paul Urbiel, AICP
Senior Principal Planner

Cc: City of Fraser Development Review Team:
Building Official, City Attorney, City Engineer, Department of Public Works Superintendent

Kevin Tuchowski, Applicant

PROPOSED SITE MODIFICATION FOR: FRASER EYE CARE - CLINICAL BUILDING

33080 Utica Road



LOCATION MAP
NOT TO SCALE

DEMOLITION NOTES

Types of Selective Demolition Work: Demolition requires the selective removal and subsequent off site disposal of the following:

- Portions of building structure indicated on drawings and as required to accommodate new construction.
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Schedule: Submit schedule indicating proposed sequence of operations for selective demolition work to Owner's Representative for review prior to commencement of work. Include coordination for shutoff, capping, and continuation of utility service as required, together with details for dust and noise control. Provide detailed sequence of demolition and removal work to ensure uninterrupted progress of Tenant's normal operations.

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Repair demolition performed in excess of that required. Return structures and surfaces to remain in condition existing prior to selective demolition work. Repair adjacent construction or surfaces soiled or damaged by selective demolition work.

NOTE:
ALL PARKING SHOWN IS EXISTING, UNLESS OTHERWISE NOTED.

DO NOT SCALE DRAWINGS. DIMENSIONS ARE
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ISSUED:	
6-22-21	RELEASED FOR CITY REVIEW
7-27-21	RELEASED FOR PLANNING COMMISSION

PROJECT:
**PROPOSED SITE
MODIFICATION FOR:**
FRASER EYE CARE-CLINICAL BUILDING

CLIENT:
FRASER EYE CARE
33080 UTICA ROAD
FRASER, MICHIGAN

SHEET TITLE:
**EXISTING SITE /
DEMOLITION PLAN**

PROJECT #:	2021-1076	DATE:	5-20-21
DRAWN BY:	CM	CHECKED BY:	KJT

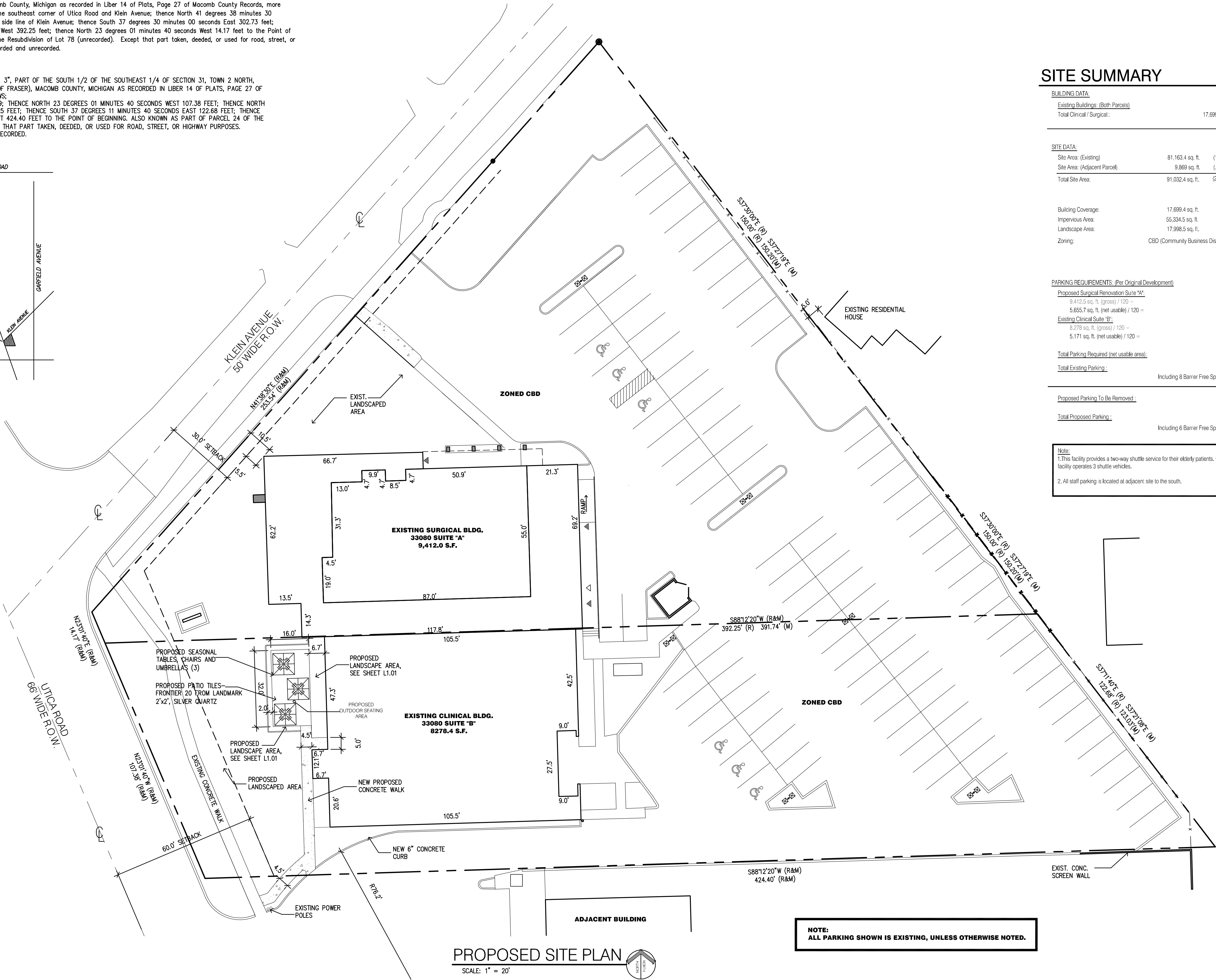
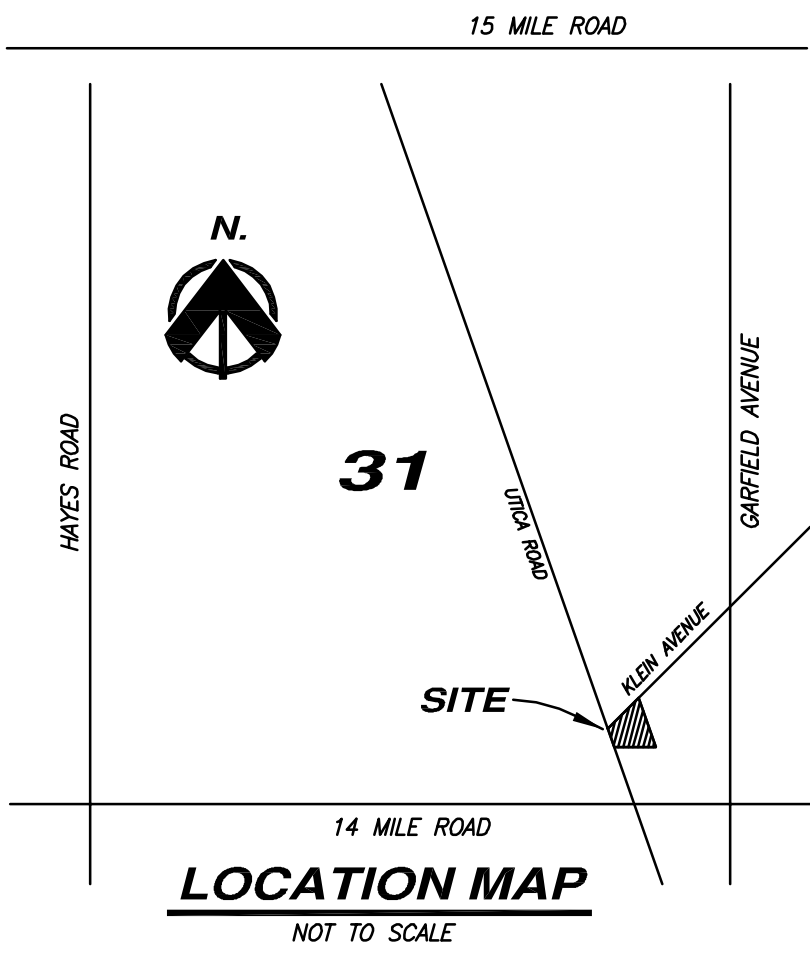
SHEET NUMBER:

C1.01

PROPERTY DESCRIPTION:

PARCEL 1
Parcels 11-31-478-006 and 11-31-478-006
Being part of Lot 78 of ,Assessor's Plat No. 3", a subdivision of part of the South 1/2 of the Southeast 1/4 of Section 31, Town 2 North, Range 13 East, Village of Fraser (now City of Fraser), Macomb County, Michigan as recorded in Liber 14 of Plats, Page 27 of Macomb County Records, more particularly described as follows: Beginning at the southeast corner of Utica Road and Klein Avenue; thence North 41 degrees 38 minutes 30 seconds East 320.54 feet along the southeasterly side line of Klein Avenue; thence South 37 degrees 30 minutes 00 seconds East 302.73 feet; thence South 88 degrees 12 minutes 20 seconds West 392.25 feet; thence North 23 degrees 01 minutes 40 seconds West 14.17 feet to the Point of Beginning. Also known as part of Parcel 24 of the Resubdivision of Lot 78 (unrecorded). Except that part taken, deeded, or used for road, street, or highway purposes. Subject to all easements, recorded and unrecorded.

PARCEL 2 (SIDWELL #11-31-478-023)
BEING PART OF LOT 78 OF, ASSESSOR'S PLAT NO. 3", PART OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 OF SECTION 31, TOWN 2 NORTH, RANGE 13 EAST, VILLAGE OF FRASER (NOW CITY OF FRASER), MACOMB COUNTY, MICHIGAN AS RECORDED IN LIBER 14 OF PLATS, PAGE 27 OF MACOMB COUNTY RECORDS, DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHWEST CORNER OF LOT 79; THENCE NORTH 23 DEGREES 01 MINUTES 40 SECONDS WEST 107.38 FEET; THENCE NORTH 88 DEGREES 12 MINUTES 20 SECONDS EAST 392.25 FEET; THENCE SOUTH 37 DEGREES 11 MINUTES 40 SECONDS EAST 122.68 FEET; THENCE SOUTH 88 DEGREES 12 MINUTES 20 SECONDS WEST 424.40 FEET TO THE POINT OF BEGINNING. ALSO KNOWN AS PART OF PARCEL 24 OF THE RESUBDIVISION OF LOT 78 (UNRECORDED). EXCEPT THAT PART TAKEN, DEEDED, OR USED FOR ROAD, STREET, OR HIGHWAY PURPOSES. SUBJECT TO ALL EASEMENTS, RECORDED AND UNRECORDED.



SITE SUMMARY

<u>BUILDING DATA:</u>			
<u>Existing Buildings: (Both Parcels)</u>			
Total Clinical / Surgical:..		17,699.4 sq. ft.	
<u>SITE DATA:</u>			
Site Area: (Existing)		81,163.4 sq. ft.	(1.86 acres)
Site Area: (Adjacent Parcel)		9,969 sq. ft.	(.22 acres)
Total Site Area:		91,032.4 sq. ft.	(2.08 acres)
Building Coverage:		17,699.4 sq. ft.	19% (Existing Clinical / Surgical)
Impervious Area:		55,334.5 sq. ft.	60%
Landscape Area:		17,998.5 sq. ft.	21%
Zoning:		CBD (Community Business District)	

PARKING REQUIREMENTS: (Per Original Development)	
Proposed Surgical Renovation Suite "A":	79 spaces
9,412.5 sq. ft. (gross) / 120 =	48 spaces
5,655.7 sq. ft. (net usable) / 120 =	
Existing Clinical Suite "B":	69 spaces
8,278 sq. ft. (gross) / 120 =	43 spaces
5,171 sq. ft. (net usable) / 120 =	
Total Parking Required (net usable area):	91 spaces
Total Existing Parking:	113 spaces
Including 8 Barrier Free Spaces	
Proposed Parking To Be Removed:	6 spaces
Total Proposed Parking:	107 spaces
Including 6 Barrier Free Spaces	
Note:	
1.This facility provides a two-way shuttle service for their elderly patients. Currently, the facility operates 3 shuttle vehicles.	
2. All staff parking is located at adjacent site to the south.	

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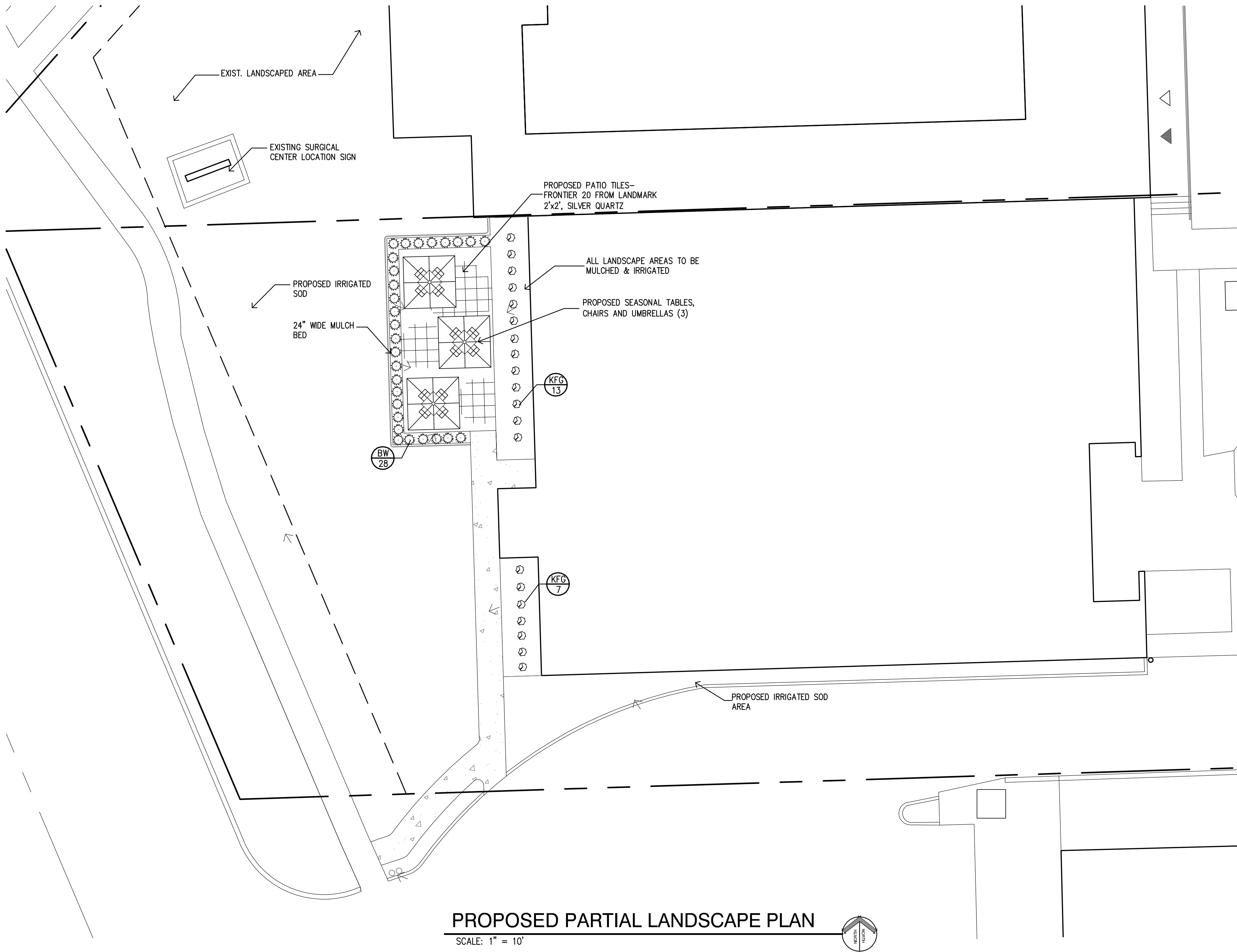
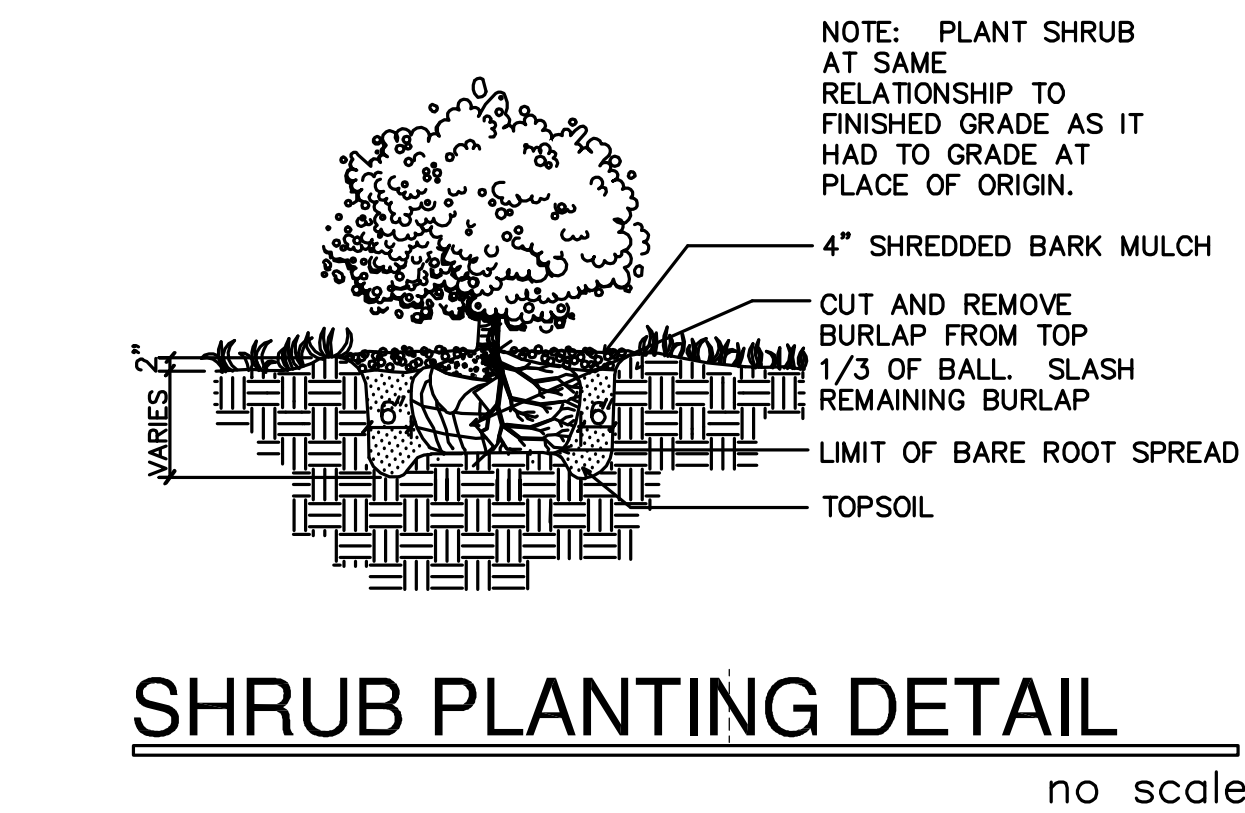
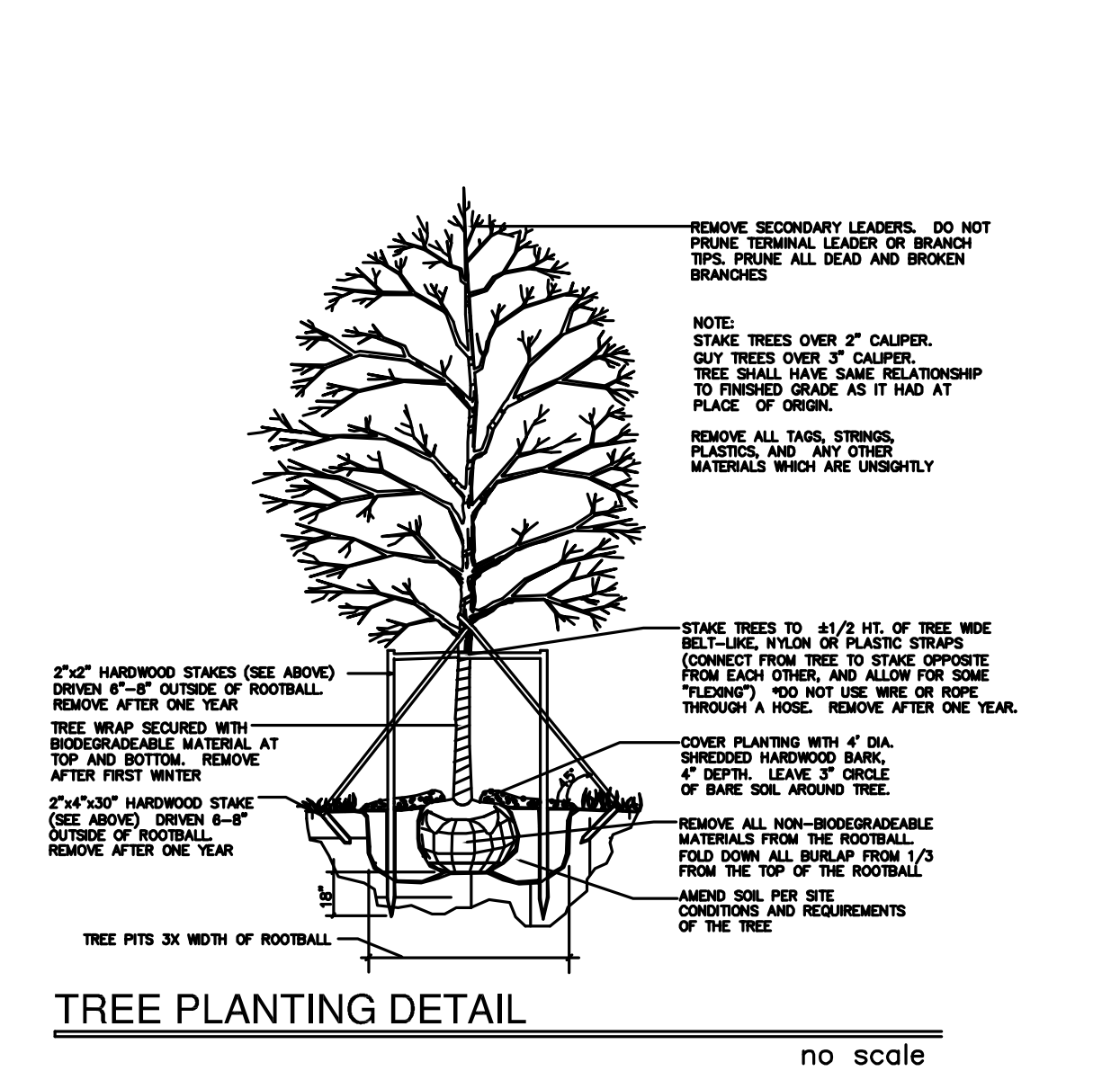
PROJECT:
PROPOSED SITE MODIFICATION FOR:
FRASER EYE CARE-CLINICAL BUILDING

CLIENT:
FRASER EYE CARE
33080 UTICA ROAD
FRASER, MICHIGAN

SHEET TITLE:
PROPOSED SITE PLAN MODIFICATION

PROJECT #:	2021-1-1077	DATE:	5-20-21
DRAWN BY:	CM	CHECKED BY:	KJT
SHEET NUMBER:			

PLANTING SCHEDULE					
SYMBOL	QUANT.	COMMON NAME	BOTANICAL NAME	SIZE	COND.
BW	28	BOW WOOD HEDGE	THUJA OCCIDENTALIS	1 ½ CAL.	B & B
KFG	20	KARL FÖRSTER GRASS	ACER REBRUM	1 CAL.	CONTAINER



General Notes

1. Work under this contract consists of finish grading and the furnishing, planting and caring for all shrubs, trees, sod irrigation equipment, etc., as indicated on the drawings, while construction is in progress and until final acceptance.
2. All planting and irrigation work to conform to applicable local codes.
3. Contractor shall make himself familiar with the presence and location of all underground utilities prior to construction.

Planting Notes

1. Should any discrepancies occur between the plan and plant list, the plan shall prevail.
2. All plant materials shall be Michigan No. 1 grade or better.
3. Topsoil mix for the backfill of all plants shall consist of one part existing topsoil and part landscape potting soil.
4. All plantings to receive minimum of two inches of shredded cypress mulch.
5. Sod shall be in a good healthy condition when laid. All areas to be sodded shall be cleaned of any rough grass, weeds, debris, etc., and the ground brought to a smooth grade.
6. Contractor shall verify positive drainage on turf and planted areas.
7. Contractor shall guarantee all sod, ground cover, and shrub work for a period of six months. Trees and bushes shall be guaranteed for a period of one year.

Irrigation Notes

1. Water supply to be from existing 1" City Meter.
2. Contractor shall provide owner as-built drawings which shall show main line, lateral line, valve locations, meter, etc.
3. Piping is schematic for clarity. All piping, valves, B.F. presenter, etc., shall be set in landscaped areas where possible.
4. All main line piping shall be Sch. 40 PVC and buried to a depth of 24". All lateral piping shall be Class 160 PVC and buried to a depth of 12".
5. All wiring from controller to automatic valves to be No. 14 direct burial cable. All splices shall be made in valve boxes using RAIN-BIRD SNAP-TITE connectors.
6. Contractor shall guarantee all parts, material and labor for a period of one year.

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PROJECT:
PROPOSED SITE MODIFICATION FOR:
FRASER EYE CARE — CLINICAL BUILDING

CLIENT:
FRASER EYE CARE
33080 UTICA ROAD
FRASER, MICHIGAN

SHEET TITLE:
PROPOSED PARTIAL LANDSCAPE PLAN

PROJECT #:	2021-1076	DATE:	5-20-21
DRAWN BY:	EK	CHECKED BY:	KJT

SHEET NUMBER:

L1.01

6B. Site Plans and Other Reviews

v. SP21-08/ JIM BUTLER ON BEHALF OF A&A
MANAGEMENT / PART OF 33400 UTICA ROAD /
PROPOSED SITE PLAN AMENDMENT

Contents:

1. City Planner (McKenna) Review Letter
2. Site Plan Submission

Additional Applicant Materials:

3. Extreme Event Plan (Submitted as Part of Previous Approval)

Site Plan Review Summary

SP 21-08

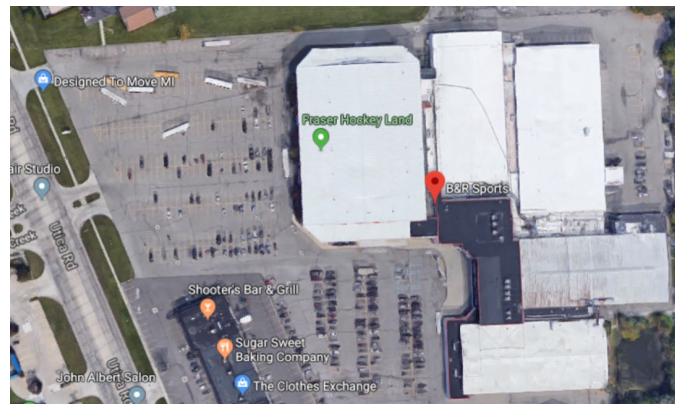
Site plan Revision Dated 6/8/21
City of Fraser, Michigan



SITE ADDRESS / LOCATION 34400 Utica Road – Fraser Hockeyland Outlot Retail Development	APPROVING BODY Planning Commission	PUBLIC HEARING DATE n/a
STAFF REPORT CONTACT INFORMATION Building Clerk – Jennifer Mellar – (586) 293-3100 ext. 154 Planning Consultant – Paul Urbiel, AICP – (313) 888-9882	APPLICANT / PROPERTY OWNER James Butler, PEA (Engineer) on behalf of A&A Management (Developer)	

BRIEF SUMMARY OF REQUEST:

The applicant is proposing to amend a previously-approved site plan to redevelop an outlot area of Fraser Hockeyland at 34400 Utica Road. **Changes in this application from previous site plan approval include the proposed conversion of outdoor dining area into enclosed restaurant space (effectively using the same footprint of restaurant as previously proposed), and a request to remove the condition that all of the parcels be combined before the outlot is divided from the main parcel.** The redevelopment will take place in a 0.9 acre piece of the parking lot of Fraser Hockeyland. The proposal locates a Big Boy restaurant with a drive-through facility in the outlot. The existing ingress/ egress access points are proposed to remain in their current location.



	SITE ZONING + LAND USE	SURROUNDING ZONING + LAND USE	SITE IMPROVEMENTS	SIZE OF SITE + FRONTAGE
EXISTING SITE INFORMATION:	CG – Commercial General; Commercial Sports Venue	Other commercial sites zoned CG – Commercial General, RH – Residential High-Multiple and RL – Residential Low-One Family	New parking, landscaping, and building construction	Total site area = 10.45 acres Dev. site area = 0.9 acres New bldg. area = 6,255 sq. ft. 370 ft. frontage on Utica Road

Compatibility with Zoning Ordinance

The CG district is designed to provide for a wide range of activities that are predominantly retail in nature. In addition to retail uses, other activities – usually requiring large land area and access to major or secondary thoroughfares – are permitted. Sit-down restaurants are permitted by right, drive-ins/ throughs and fast-food restaurants are special uses.

Compatibility with Master Plan

The Master Plan designates the Future Land Use of this area and the surrounding parcels for continued General Commercial. It further describes appropriate land uses for General Commercial as including “restaurants (both sit-down and fast food with drive-through”.

Buildings in General Commercial “should be constructed of high-quality materials which wrap around the entire building and feature attractive signage. Robust landscaping should be installed throughout the site. Commercial buildings should be supported by sufficient but not overly excessive parking areas.”

PLANNER RECOMMENDATION

- ☐ APPROVE
- ☒ APPROVE WITH CONDITIONS
- ☐ REVISE AND RESUBMIT
- ☐ DENY

ATTACHMENTS

- ☒ SUBMITTED PLANS
- ☐ APPLICATION
- ☐ PUBLIC HEARING NOTICE
- ☐ PROOF OF OWNERSHIP
- ☐ PUBLIC COMMENTS
- ☐ AGENCY COMMENTS
- ☒ REVIEW AGAINST ZONING STANDARDS
- ☐ MISC.

Note Regarding Proposed Amendments Compared to approved Site Plan Application SP-04 (June 2021):

Changes in this application from previous site plan approval include the proposed conversion of outdoor dining area into enclosed restaurant seating space (effectively using the same footprint of restaurant as previously proposed), and a request to remove the condition that all of the parcels be combined before the outlot is divided from the main parcel.

The parking required for the larger building footprint was already accounted for in the previous proposal and approval (the previous proposal appropriately included the outdoor seating area in the calculation of required parking). The change in building footprint from that previously proposed is approximately 45 SF, i.e., not enough to cause a change in parking required. The building elevations are different to account for this, but represent the same general material palette.

Our comments regarding the request to remove the lot combination condition are in item 10, below.

1. CG, Commercial General Business District (Section 32-135)

a. Zoning and Land Use (Section 32-135 (1))

The subject site is zoned CG, Commercial General Business District, which accommodates commercial uses that need access to major thoroughfares. This proposal is to build a restaurant with a drive-through window on the north portion of the outlot. Restaurants are permitted uses; the drive-through restaurant received Special Use approval from the Planning Commission, as required by (32-135 (2) (d)), on 6/2/21.

b. Dimensional Requirements (Section 32-135 (3))

The minimum lot size in the CG district is 12,000 square feet (approximately 0.27 acres); the subject site is 10.45 acres. The redevelopment takes place within a 1.46-acre portion of the parking lot of Fraser Hockeyland. The minimum lot width for the CG district is 80 feet. It is our understanding that the applicant proposes to divide the outlot parcel from the subject site. The results of this proposed division would be a new parcel that is approximately 240 feet wide with an area of approximately 0.9 acres.

The required front yard setback is measured from the centerline of the right-of-way and is determined based on the road classification as described in the Master Plan. Utica Road, at five lanes wide, is a Major Road. Thus, the required setbacks are 110 feet from the centerline for the building and 70 feet from the centerline for the parking lot. The proposed building and parking lots meet all setback standards.

The maximum building height is 30 feet or two stories. Proposed building elevations indicate that the proposed one-story building height is 22'-4", which meets the ordinance requirement.

2. Off-Street Parking and Loading Requirements (Article VI Section 32-91 through 32-95 and 32-97)

a. Parking

Parking spaces previously approved as part of the original Fraser Hockeyland development are proposed to be removed as part of the subject outlot development project. The applicant proposes a different parking configuration to accommodate the new restaurant building. There is an approximate net loss of 107 on-site parking spaces proposed as part of this development.

In 2019, the applicant applied for and received a variance to reduce the required parking to 525 spaces, as well as a variance to grant permission to utilize land that is not paved for off-street parking to facilitate the use of the Lions Club property to the north as part of a shared parking agreement.

The development as proposed provides 563 spaces (proposed work + existing spaces to remain). The applicant indicates that shared parking agreements are in place with two neighboring sites for 247 additional spaces.

<u>Parking Supply</u>	
	Parking Proposed
Project Site (Proposed Work + Existing to Remain)	563
Total Soccer (Shared Parking Agreement)	77
Lions Club (Shared Parking Agreement)	170
Total Parking Supply	905

i. Further parking details:

- Of the total parking spaces for the proposed new development, three barrier free spaces are required; the site plan shows three barrier-free spaces.
- Per section 32-95, associated with each drive-through restaurant, three off-street waiting spaces should be provided; these spaces are provided.
- Parking space widths and lengths comply with the zoning ordinance.
- Three bicycle parking spaces are provided in a rack on a concrete pad in front of the proposed building.

ii. City Engineer Review:

The City Engineer provided the following comments regarding parking based on the previous site plan submission and previously-prepared accompanying traffic study:

1. While an updated traffic and parking study was not prepared; we offer the following observations for consideration when comparing the currently proposed site plan to the plan that was prepared in December 2020:

a. Elimination of the retail component and specialty eatery with drivethru:

i. Reduces site driveway vehicular traffic by 781 daily trips

1. 402 New Trips and 379 Pass-By Trips

2. 58% of the increased traffic generated by previous site plan iteration will not be generated by proposed site plan

ii. Reduces peak hour parking demand by:

1. 21 spaces for typical weekday

2. 27 spaces on typical weekend

iii. Increases parking supply by 38 spaces

1. Parking demand is 51% of parking supply for typical weekday

2. Parking demand is 88% of parking supply for typical weekend

3. Typical weekend operations now fall within 85%-90% desirable range for effective parking supply ratio

b. Site will still not sufficiently accommodate parking demand for

“extreme case” events, which should be considered on a case by case basis with overflow parking mitigation plans.

b. Ingress / Egress

The applicant is proposing to retain the existing approach at the northern access. The southern existing ingress/egress drive is proposed to be reconstructed and reconfigured in the same location to accommodate two egress lanes (one left-turn lane to southbound Utica Road and one lane for through traffic to French Creek Drive and right turns to northbound Utica Road) and one ingress lane with an added right-turn deceleration lane for northbound Utica Road.

c. Circulation On- and Off-Site

Section 32-131 (e) of the City's code requires a planned approach to large commercial and office properties. Specifically, *"The Planning Commission shall review the building and/or use proposed to be located in front of the established building to determine whether the building or use is of such location, size and character to be in harmony with the appropriate and orderly development of the balance of the site, is not detrimental to the development of adjacent uses, does not create any vehicular or pedestrian hazards, and is aesthetically compatible with the buildings and uses located (or to be located) upon the site."*

Proposed on-site circulation patterns are adequately provided for. All two-way lanes have at least 24 feet of maneuvering width and all parking spaces are provided adequate access to maneuvering spaces.

The City Engineer's review comments address off-site circulation:

"2. The previous traffic study did include new Meijer outlots on Utica Road with the exception of the Taco Bell. Given similar characteristics of the uses and assumptions that were made previously, the observations of traffic conditions on nearby road network would be reasonably well represented by the findings of the previous traffic study. The previous study's findings of Level of Service (LOS) for site driveways would likely be improved with proposed changes."

d. Loading (Section 32-97)

Section 32-97 described the requirements for off-street loading and unloading. For this development, one loading space is required with an area of 10' by 50'. A 10'x50' loading space is described on the plans to the rear of the proposed restaurant building, meeting the ordinance requirement. The plans note that loading is to happen between the hours of 10pm and 6pm.

3. Landscaping (Section 32-84, 32-88, 32-40)

A landscape plan has been provided. Section 32-88 of the Zoning Ordinance describes landscaping requirements for parking lot frontages and interiors. With 370 feet of lot frontage, 12 trees are required within the front yard setback. 12 trees have been proposed along with a low hedge buffer.

Additionally, one tree is required for every six parking spaces, a requirement of 30 trees. 30 trees are proposed. The proposed landscape will result in an improved appearance of the Utica Road frontage of the entire Hockeyland site. The proposal meets the requirements of the zoning ordinance.

4. Signs (Section 32-85)

A sign plan was not submitted. New signs may be applied for and considered as part of the site plan or separately, for administrative approval.

5. Architecture and Building (Section 32-131 (a))

Elevations and building finishes have been provided. The exterior of the buildings will be primarily constructed of black, white and gray masonry, white Exterior Insulation and Finish System (EIFS) cladding, extruded aluminum siding with both a gray and brown/woodgrain appearance. The building (slated to house a Big Boy

restaurant) also includes red extruded aluminum siding. The storefront glazing system consists of clear glass and dark bronze appearance aluminum frame elements. The proposed building is reasonably attractive; the applicant has provided materials on sheets A-201 and a visualization of the North building materials on LOD-1 of the site plan submittal.

6. Fencing (Sec. 32-44)

No new fencing is proposed as part of this proposal.

7. Dumpster (Section 32-131 (e))

A two-dumpster enclosure is proposed to be located in the northeast portion of the proposed outlot. The proposed dumpster screening meets the requirements of the ordinance. The outlot nature of the site presents a challenge to dumpster placement without corresponding pedestrian conflicts. We believe the proposed solution is reasonable, given those challenges and the configuration of the remainder of the site.

8. Lighting (Section 32-86)

There are 13 light poles proposed on the site plan, each being 25 feet tall. A photometric plan has been submitted indicating compliance with the Zoning Ordinance requirements for illumination at driveways, parking areas, walks, and at the property lines. The lights are shielded downward as required. As a reminder, there shall be no flashing, oscillating, moving or intermittent type of lighting/illumination.

9. Pedestrian Safety and Circulation

Pedestrian safety and circulation throughout the site is addressed by 5' wide crosswalk striping that provides access to the proposed building from Utica Road, from the Hockeyland Arena and from parking areas to the north and south of the site. Section 32-93 (12) requires that stacking lanes and drive-throughs not impede pedestrian circulation. Pedestrians coming to the proposed development from the Hockeyland Arena will have to cross the drive-through lane, but this is mitigated by the inclusion of the crosswalks mentioned above.

10. Lot Combination and Land Divisions

The site plan as proposed implies the division of the existing Hockeyland parcel, resulting in an outlot for the proposed development.

The applicant has requested the removal of the condition that all existing parcels (including the north parking lot) be combined prior to a subsequent division of the outlot. This condition has been required throughout the various incarnations of this proposal. It is intended to ensure that the parking in the north lot is always available to the arena property and that, especially in the case of extreme events, the property functions as it was designed and approved to as part of this redevelopment.

Though we believe that combining the existing parcels under common ownership (to incorporate the north lot) is the optimal scenario, we also believe that the Planning Commission, if it desires, may remove this condition and achieve the same result only if all of the existing parcels and the proposed outlot are subject to easements and agreements for shared access and parking.

11. Reviewing Entities

The site plan is subject to review by all the applicable departments and jurisdictions deemed necessary to ensure the health, safety, and welfare of the community.

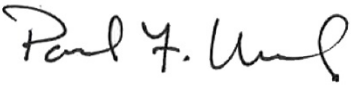
RECOMMENDATION

Based on the above review, we believe the site plan application is complete and the Planning Commission may act upon the petition. Considering the previous approvals of a variance for parking, and associated conditions for approvals for related previous proposals on this property, we recommend the Planning Commission include the following conditions with site plan approval:

1. The applicant must provide a 60-day advance notice of significant events (which include Extreme Events) and a plan to handle parking, traffic and safe pedestrian circulation. A plan for Extreme Events must be submitted by the Applicant to the City's Development Review Team at least 60 days in advance of the proposed Extreme event to be reviewed administratively by the City.
2. The applicant agrees to comply with the Plan for Extreme Events and all additional requirements imposed by the Development Review Team relating to the proposed parking management strategy for large-scale special events.
3. The applicant agrees to employ adequate City Public Safety personnel at the Applicant's sole expense to handle traffic congestion and circulation problems and facilitate orderly parking at Extreme Events and other events where traffic congestion and the need for overflow parking is anticipated in accordance with the past practice reimbursement process.
4. The applicant must adhere to the North Parking Lot improvement plan as submitted.
5. Agreements for easements for cross access, shared parking and utilities for the existing Hockeyland parcels (including the North Parking Lot), as well as the outlot parcel proposed as part of this development application, are required. These agreements for easements must be reviewed and approved by the City, executed, and recorded with the Macomb County Register of Deeds.
6. Applicant must give the City 60 days advance notice prior to the expiration or termination of any Shared Parking and Lease Agreements, provide alternate shared parking arrangements for review and approval by the City, and be subject to revocation if no suitable shared parking arrangement is provided.
7. All agreements and site plans must be reviewed and approved by all applicable government departments and agencies, by the City Attorney, and City Engineers.
8. The applicant achieves 100% fire protection and safety approval from the City of Fraser Fire Marshall.
9. Retail operations may only be conducted between 6am and 11pm.
10. The applicant agrees to completely resurface, restripe, and re-asphalt the entire Hockeyland parking lot (i.e., the entirety of parking lots in proposed Parcels A, B and C, including the north lot) and the parking lot must provide adequate stormwater management.
11. Shared Parking and Lease Agreements with Total Soccer, the Lions' Club, Meijer, and Fraser Schools must be reviewed and approved by the City Attorney, executed, and recorded with the Macomb County Register of Deeds.
12. The applicant obtains written approvals from all applicable City departments and agencies prior to construction.

Respectfully,

McKENNA



Paul Urbiel
Senior Principal Planner

Cc: City of Fraser, MI: Building Official, City Engineer, City Attorney, City DPW
James Butler, Engineer, PEA



PLAN FOR AN EXTREME EVENT

(One singular event that constitutes over 1575 people and would shut down all other arenas ice surfaces)

- Ask for authorization from City of Fraser for permission to host event.
- Notify City of Fraser Department of Public Safety about potential traffic concerns and employ them if necessary (as we have done in the past.)
- Notify both Lions Club and Total Soccer about upcoming events and that overflow parking might be needed for that one event.
- Notify Meijer that bus parking may occur during event.
- Notify Fraser High School about potential parking needed for a pre-arranged shuttle service. Employ shuttle Bus Company to insure enough busses to run back and forth to shuttle bus location (Fraser High School).
- Staff with extra personnel to assist with parking availability and traffic flow at both drop off and pick up locations.

⏮ Reply all ▾ 🗑 Delete ⓧ Junk Block ...

Re: Lease and Parking

DK

Don Kiefiuk <donboe92157@yahoo.com>

Sat 1/16/2021 12:45 PM

To: Bud

👍 ↶ ⏮ ➜ ...

Hello Bud - Happy to provide confirmation that there is an active, current agreement between Fraser Hockeyland and the Fraser Community Building Association as you have described, and that all amounts due have been paid in full and in advance of the upcoming rental period. Please let me know if you need something more formal Bud, we value our relationship and look forward to a brighter 2021!

Thanks

Don Kiefiuk

President, Fraser Community Building Association

On Jan 16, 2021, at 12:11 PM, Bud <bud@fraserhockeyland.com> wrote:

Good Morning and Happy 2021 Don! Hope that all is well with you and your family and everyone is staying safe. I was wondering if you could respond to this email or create one so I can show the City of Fraser that our lease is current and we are paid up to date and that, as the lease says in #4, "the tenant is entitled to use of parking on or about the property, and on the hard lot adjacent to the Fraser Lions Clubhouse if there is no competing events at the club and the lot is requested in advance". Thank you again for all of your help and support of Fraser Hockeyland. Bud Kowalski

Reply Forward



Bud Kowalski
General Manager

34400 Utica Road
Fraser, MI 48026
586.294.2408

Bud@FraserHockeyland.com

January 16, 2021

Brian Tinnion
Total Soccer Fraser
34300 Utica Road
Fraser, MI 48026

RE: Shared Parking Reciprocal Letter of Agreement

Dear Brian:

Pursuant to our recent conversations, once fully executed this will constitute our reciprocal letter of agreement for shared parking between Total Soccer Fraser, herein after referred to as "TSF", and Fraser HockeyLand, herein after referred to as "FHL". This agreement shall automatically renew every year.

Whereas, TSF and FHL both have major events for soccer and hockey seasons; and

Whereas, TSF and FHL both have need for additional parking for major events during the soccer and hockey seasons; and

Whereas, TSF and FHL have connectivity between their respective parking areas; and

Whereas, TSF and FHL agree their individual major events will not overlap but will complement each other regarding dates, days and time; and

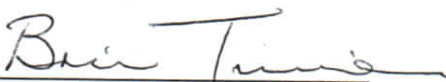
Whereas, in consideration for use of TSF parking area for FHL season major events, FHL will hold TSF harmless for any claims of property damage or personal injury made by FHL patrons utilizing parking on TSF property; and

Whereas, in consideration for use of FHL parking area for TSF season major events, TSF will hold FHL harmless for any claims of property damage or personal injury made by TSF patrons utilizing parking on FHL property.

Now therefore, it is agreed, TSF and FHL will provide a list of dates, days and times to each other for required additional parking for their seasons major events and each will utilized the shared parking as stated in this reciprocal letter of agreement.

TOTAL SOCCER FRASER

FRASER HOCKEYLAND



Brian Tinnion



Bud Kowalski, General Manager

1/21/21

Date

1/21/21

Date



Bud Kowalski
General Manager
3400 Utica Road
Fraser, MI 48026
(586)294-2400
bud@fraserhockeyland.com

January 19, 2021

Meijer
34835 Utica Road
Fraser, MI 48026

RE: Letter of Agreement for Overflow Bus Parking

Dear Meijer Manager,

This will constitute as our letter of agreement that if additional parking for events at Fraser Hockeyland is needed, team busses may use the Meijer parking lot. These events may happen periodically throughout the year, Fraser Hockeyland will provide the Meijer management notice of such events.

Meijer

Darlene McKenzie

Printed Name

Darlene McKenzie

Signature

Store Manager

Title

Fraser Hockeyland

Jenette Maitz

Printed Name

Jenette Maitz

Signature

Office Manager

Title



January 16, 2021

Fraser High School

34270 Garfield Road

Fraser, MI 48026

Re: Letter of Agreement for overflow/shuttle parking

To Whom It May Concern,

This will constitute as our letter of agreement that if over flow parking for events at Fraser Hockeyland, patrons of FHL may park at Fraser High School and be shuttled to and from the rink. These events may happen periodically on weekends throughout the year and no less than 90 days' notice will be given in advance of said event. This venue will only be used for an extreme event and is fourth on the list of available parking locations.

Fraser High School

Signature: Carrie Wozniak

Printed Name: Carrie Wozniak

Title: Superintendent

Date: 01-21-2021

Fraser Hockeyland

Signature: Evaline Vigiletti

Printed Name Evaline Vigiletti

Title: DIRECTOR OF OPERATIONS

Date: 1-21-21

7. Unfinished Business

i. 01-19SUB / MAX MANCINI / GARFIELD PARK -
SUB PARCELS 1-10 / SITE PLAN AMENDMENT

Contents:

1. Staff Memo

Materials from Previous Discussion:

2. City Planner (McKenna) Review Letter
3. Original Approved Site Plan (2006)
4. Site Plan As-Built / Proposed Amended Site Plan
5. City Engineer (AEW) Review Letter
6. Applicant Statement of Request



Memorandum

TO: Fraser Planning Commission
FROM: Paul Urbiel, AICP
SUBJECT: **Site Plan Amendment Request: 01-19SUB / MAX MANCINI / GARFIELD PARK - SUB PARCELS 1-10 / PROPOSED SITE PLAN AMENDMENT**
DATE: July 27, 2021

In 2006, the Planning Commission approved a site plan for the development of 10 single-family residences on Anita and Josephine Avenues east of Garfield. The developer constructed nine of the 10 approved homes over the ensuing years, but is now requesting a site plan amendment, the key points of which are summarized thusly:

- 1. Request to not construct required extension of Anita Avenue past the middle of Parcel 4;*
- 2. Request to not construct approved Anita Avenue home on Parcel 5.*

The Planning Commission originally considered this request on February 6, 2019, and then again on February 3, 2021. In February, the Commission postponed a decision on this request for a period of six months, until the Commission's August meeting, to give the applicant an opportunity to continue to work with the property owner of Parcel 4 and combine the lots.

Below is email correspondence from the applicant in response to a request for an update in preparation for this meeting. To date, the City has received no further information or updates regarding the status of this request. The applicant subsequently confirmed plans to attend the Planning Commission meeting to continue the discussion.



To: zoning@micityoffraser.com
Subject: Re: Fraser Planning Commission: 01-19SUB / Max Mancini / Garfield Park - SUB Parcels 1-10 / Site Plan Amendment
Date: Wednesday, June 23, 2021 8:16:13 AM

Hi Paul:

At first I began talks with the owner of parcel 4 and had come to a sale resolution in my attempts to combine the two parcels. However, before we finalized the sale the owner of parcel 4 changed directions and decided to move out of the state and sell his home. I have tried several times to reach the new owner of parcel 4 to see if he would be interested in combining the two lots, but he has not responded.

Parcel 5 is currently in tax foreclosure.

re
Max

On Tuesday, June 22, 2021, 01:21:14 PM EDT, zoning@micityoffraser.com
<zoning@micityoffraser.com> wrote:

Hello Mr. Mancini –

As you recall, in February the Planning Commission considered your request to amend your approved site plan, and postponed it for a period of six months (until August 4, 2021) to allow you to continue to seek a sale and combination of Parcels 4 and 5. I'm writing to inquire about any progress in preparation for the upcoming August Planning Commission meeting. Please let me know if there has been any movement so we can prepare accordingly.

Thank you,

Paul

Paul Urbiel, AICP

Planning and Zoning Consultant

City of Fraser, MI

(586) 293-3100, Ext. 153



RECOMMENDATION

The proposed site plan amendment would create a non-conforming, unbuildable lot with no frontage on a public road. Further, it would potentially cause future negative impacts for emergency vehicles and require future infrastructure investment for development east of Parcel 4. Absent a proposal to combine lots 4 and 5, and absent any other additional information that has not been previously considered, we do not see a way to amend the site plan that is in the City's interest. Given the above, we recommend that Planning Commission deny the request to amend the site plan.

Please feel free to contact me with any questions. I look forward to discussing this request with you at the August 4, 2021 Planning Commission meeting.

**CITY OF FRASER PLANNING COMMISSION MEETING
MUNICIPAL BUILDING ~ 33000 GARFIELD ROAD
Wednesday, February 3, 2021
MINUTES APPROVED AS CORRECTED March 3, 2021**

planned to be utilized during winter months as well. BUTLER noted that it is possible the outdoor seating may become permanent fixtures. ANDREWS stated that outdoor seating on this site shall comply with State regulations and Macomb County Health Department regulations.

Motion by Member: KEIL **Supported by Member:** FARINA
To: Approve SP 20-006 / Jim Butler on behalf of A&A Management / Part of 34400 Utica Road / Proposed Site Retail with the following conditions:

1. The applicant must adhere to the conditions as required for the approval of SLU 20-001.
2. The parking lot must be re-paved and meet all standards for proper drainage, as determined by the City Engineers.
3. The site must comply with all requirements as set forth by the City Engineers.

AYES: 7

NAYS: 0

MOTION CARRIED

7. UNFINISHED BUSINESS:

A. 01-19SUB / Max Mancini / Garfield Park – SUB Parcels 1-10 / Site Plan Amendment

DISCUSSION: URBIEL explained the proposed site plan amendment submitted by the applicant, Max MANCINI, to eliminate the required extension of Anita Drive further east and not develop parcel 5 (planned to be located at the easternmost end of Anita Drive). URBIEL noted that the site plan was originally approved in 2006. To date, the applicant has constructed 9 out of 10 of the planned homes along Anita Drive. Further, Planning Commission discussion in 2019 noted concern for the ability for emergency vehicles to turn around in the VFW parking lot located on the north side of Anita Drive if the road extension was not completed.

URBIEL explained that upon review of the proposed site plan amendment, parcel 5 would be rendered unbuildable, would result in reduced road connectivity in the City, may increase impediments to emergency vehicle access on Anita Drive, and lack of public sewer in front of parcel 5 would likely result in a required connection in front of parcel 4 and 5 to the sanitary sewer system if development were to take place. URBIEL noted that McKenna recommends denial of the proposed site plan amendment.

MANCINI stated that Fraser Road to the north was vacated in 1992. Emergency vehicles have been utilizing the VFW parking lot for years as a turn-around when called to any site on Anita Drive. Additionally, Parcel 5 is located in the FEMA floodplain, making the high watermark a flood hazard for a road extension off Anita Drive. MANCINI noted that conversations are being had with the adjacent property owner to purchase Parcel 5 and combine it with Parcel 4 so Parcel 5 will no longer be non-conforming. MANCINI stated that developing Parcel 5 is not a viable option.

VIGERNON noted that the FEMA floodplain has been changed since the original site plan was approved in 2006. Today, it would typically be required that all infrastructure was constructed prior to building homes on each parcel. The floodplain map shown in the presentation notes that water leads across Anita Drive, and it would be the City Engineer's preference that water and sewer lines were extended to Parcel 5.

ECK noted that the abrupt end of Anita Drive may become a safety hazard for patrons of the VFW. ECK explained that if the VFW's parking lot were to be changed in the future, a cul-de-sac or dead-end signage at the end of Anita Drive would be desirable.

FARINA noted that the Planning Commission requested the applicant construct a cul-de-sac or hammerhead at the end of Anita Drive during the previous review in 2019. MANCINI denied the request at the time. CZARNECKI explained that the role of the Planning Commission is to preserve the safety of City residents and a safe turnaround for emergency vehicles on Anita Drive is necessary. CZARNECKI inquired what the safety

**CITY OF FRASER PLANNING COMMISSION MEETING
MUNICIPAL BUILDING ~ 33000 GARFIELD ROAD
Wednesday, February 3, 2021
MINUTES APPROVED AS CORRECTED March 3, 2021**

factors would be for emergency vehicles if Parcel 5 were purchased and developed. MANCINI explained that future development cannot occur until the road is extended.

WARUNEK noted ~~that the site plan should be developed as it was approved~~ (corrected: support for exploring different avenues for this site plan in the future). KEIL noted that the floodplain prevents the buildable area for a new home to be constructed on Parcel 5. WARUNEK explained that it may be possible to build within the floodplain, but the development will be different than the original site plan shows.

TRAXLER stated that MANCINI submitted a site plan that set the expectations to the City for development. The applicant is requesting a site plan amendment to would result in Parcel 5 being non-conforming. The Planning Commission is not permitted to approve the site plan, given that the non-conforming lot is in violation of the City's Zoning Ordinance. MANCINI may seek to combine Parcels 4 and 5, or seek a variance. COOK suggested the Planning Commission postpone the site plan amendment application so the applicant can continue working with property owner at Parcel 4 to purchase Parcel 5 and combine it to Parcel 4.

Motion by Member: FARINA

Supported by Member: COOK

To: Postpone 01-19SUB / Max Mancini / Garfield Park – SUB Parcels 1-10 / Site Plan Amendment for a period of 6 months, until the August 4, 2021 City of Fraser Planning Commission meeting, or sooner, depending if the applicant is able to combine Parcel 4 and Parcel 5 prior to August 4, 2021.

AYES: 6

NAYS: 1 (corrected: CZARNECKI)

MOTION CARRIED

B. 2020 City of Fraser Planning Commission Annual Planning Report

DISCUSSION: URBIEL presented the 2020 Planning Commission Annual Planning Report. CZARNECKI questioned why information on variances were included in the report when that is a ZBA matter. TRAXLER noted that the Michigan Planning Enabling Act requires that an annual report on the ZBA must also be submitted to City Council. FARINA noted that McKenna should add ZBA to the title of the Report.

Motion by Member: FARINA

Supported by Member: CZARNECKI

To: Postpone forwarding the 2020 City of Fraser Planning Commission Annual Planning Report to City Council until the March 3, 2021 Planning Commission meeting.

AYES 7

NAYS 0

MOTION CARRIED

C. City of Fraser 2021 Master Plan

DISCUSSION: BOUCHARD began the discussion by explaining the changes made since the January 2021 Planning Commission meeting. The changes include the addition of a document acronym page, additional case studies, and general text edits and reviews. FARINA questioned if the McKenna included text changes pertaining to enhanced sidewalk connectivity, updating the City's sign ordinance, and including information on the current parks system. BOUCHARD noted that additional information on the City's park system still needs to be added to the next draft. TRAXLER explained the remaining tasks and project schedule.

Motion by Member: KEIL

Supported by Member: CZARNECKI

To: Forward the City of Fraser 2021 Master Plan to City Council to open the 63-day comment period.

AYES 7

NAYS 0

~~**MOTION CARRIED**~~ (corrected: **MOTION CARRIED**)

8. PUBLIC COMMUNICATIONS ON NON-AGENDA ITEMS:



MCKENNA

January 26, 2021

Planning Commission
City of Fraser
33000 Garfield Road
Fraser, Michigan 48026

Subject: Proposed Site Plan Amendment

Lots 77 through 108 inclusive, including the adjacent vacated alleys and the vacated Fraser Drive between Anita Avenue and Josephine Avenue, Garfield Park Subdivision, Liber 11, Page 25, Macomb County Records
RM (Single-Family Residential)
Site Plan dated November 14, 2018

Dear Commissioners:

In 2006, the Planning Commission approved a site plan for the development of 10 single-family residences on Anita and Josephine Avenues east of Garfield. The developer constructed nine of the 10 approved homes over the ensuing years, but is now requesting a site plan amendment, the key points of which are summarized thusly:

1. Request to not construct required extension of Anita Avenue past the middle of Parcel 4;
2. Request to not construct approved Anita Avenue home on Parcel 5.

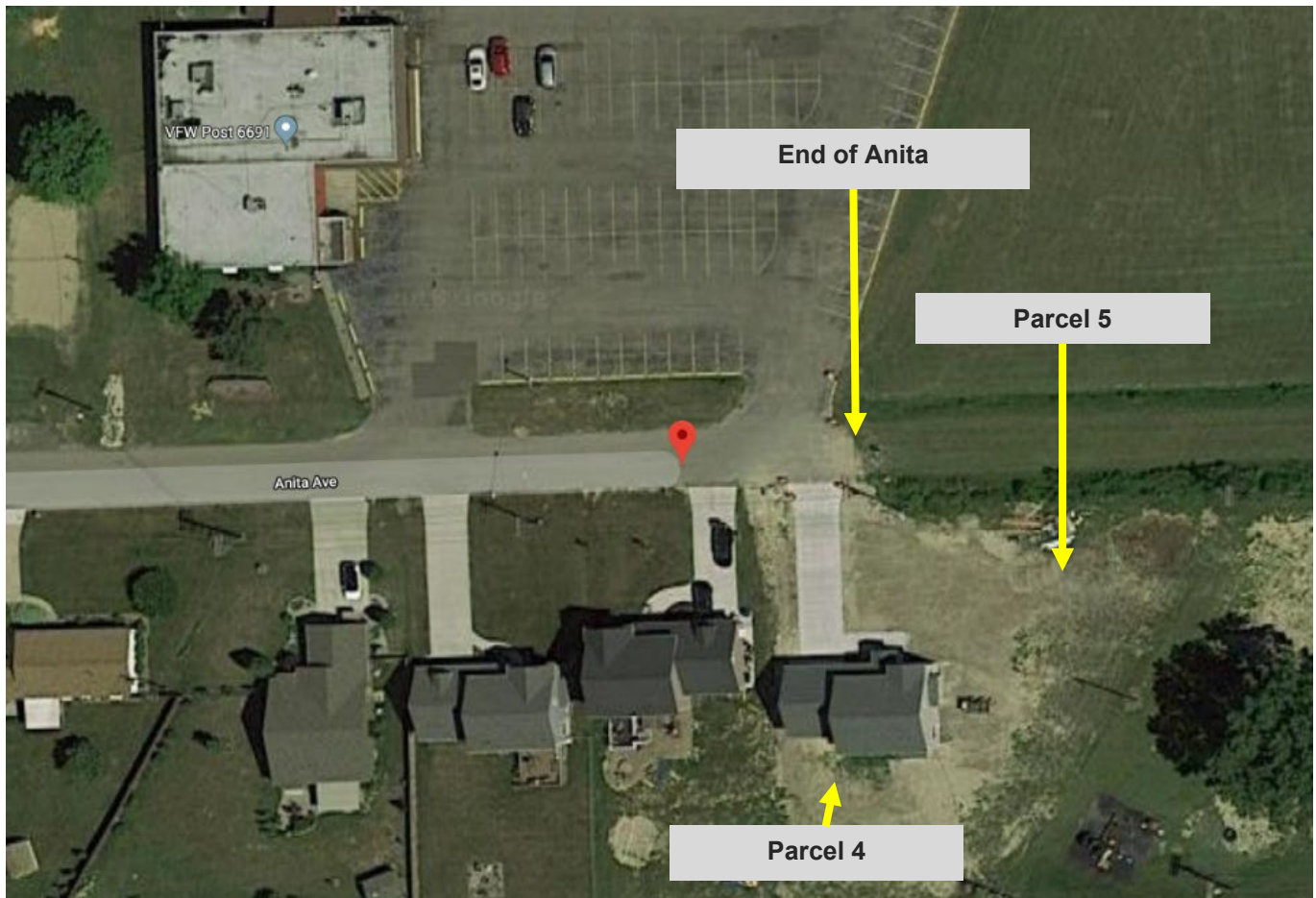
The Planning Commission originally considered this request on February 6, 2019 and postponed the item until the applicant provided a proposed revised site plan illustrating the desired amendment. The applicant has provided the attached site plan, which represents both the as-built condition to date and the proposed amended site plan.



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235 East Main Street
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Northville, Michigan 48167

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The manner in which the development has been carried about thus far appears to be consistent with the approved plans. However, by not constructing the improvement to Anita Avenue, the end of that road (shown in street view (previous page) and aerial (above)) is left in a state that has potential negative impacts.

Parcel 5 is to the east of the easternmost home in the aerial to the right; that is the parcel that the applicant proposes not to develop. As shown below, Anita Ave. now terminates at the eastern edge of Parcel 4's driveway.

The VFW parking lot extends onto a portion of the Fraser Road right of way that was vacated on October 9, 1992. In the event that the VFW were to close, be redeveloped, or otherwise reconfigure its parking lot, the only turnaround at the eastern end of Anita would be the driveway of Parcel 4. As suggested by the City Engineer, this is not a condition that is acceptable.



ZONING CONSIDERATIONS

We have reviewed the proposal in light of zoning requirements and offer the following comments for the Planning Commission's consideration.

I. Frontage Requirements

The Zoning Ordinance includes frontage requirements for buildable lots (*Article III Sec 32-45. (Ord. No. 279, § 3.14, 12-12-96)*) as follows:

Every dwelling or principal building shall be located on a lot which fronts upon an improved public or an existing private street, road or highway. Modification of this requirement may be permitted by the zoning board of appeals in cases where unusual land or geographic conditions exist.

Approval of the proposed amendment would result in an unbuildable lot because Parcel 5 does not front upon an improved public or existing private street, road or highway (and therefore a dwelling or principal building would not be approvable on the subject parcel).

II. Planning Standards

The Zoning Ordinance requires that the planning commission consider specific planning standards as part of a site plan approval (*Article VII. Sec 32-102. (Ord. No. 279, § 7.01, 12-12-96)*). The standards are listed below, and our comments follow.

(1) Vehicular access and circulation. *The location and design of driveways providing vehicular access to the site shall be arranged to promote the safety and convenience of vehicles and pedestrians and to provide access in a manner that promotes proper internal circulation. The planning commission shall require public streets adjacent or through a proposed development, when it is necessary for the public health, safety and welfare, and/or provide continuity to the public road system. In those instances where the planning commission determines that there is an excessive number of curb-cuts in relation to abutting public roads, thereby diminishing the capacity of the road or creating excessive points of conflict, a reduction in the number of driveways shall be required.*

The site plan as originally approved provided continuity to the public road system. The proposed amendment would reduce that continuity, as it would leave Parcel 5 without access to a public road.

(2) Relationship to surrounding property. *All site development features shall be arranged to minimize the potential of any negatively impact upon surrounding property. In making this determination, the planning commission shall review the plan for negative conditions such as, but not limited to:*

- *Channeling excessive traffic onto local residential streets.*
- *Adequate screening of parking or service areas.*
- *The impediments to emergency vehicle access.*

As we note above, a change in the configuration or operation of the VFW lot has the potential to cause an impediment to emergency vehicle access.



(3) **Relationship to natural features.** *All buildings, driveways, parking lots and site improvements shall be designed to be compatible with the physical characteristics of the site, including, but not limited to, woodlands, wetlands, slopes, floodplains and soil suitability. The proposed development shall not needlessly have an adverse impact on the natural environment of the site or the surrounding area.*

The proposed amendment does not have an adverse effect on impact on the natural environment of the site or the surrounding area.

(4) **Infrastructure.** *The planning commission shall consider the city engineer's evaluation of the adequacy of public or private services and utilities proposed to serve the site, including water, sanitary sewers and stormwater retention.*

The City Engineer's review letter is attached and addresses infrastructure. The Engineer notes that the sanitary sewer was only extended to the westerly edge of Parcel 4, that no public sewer exists in front of Parcel 5, and that any future extension of sanitary sewer service to the east will require future construction in front of Parcels 4 and 5.

RECOMMENDATION

The proposed site plan amendment would create a non-conforming, unbuildable lot with no frontage on a public road. Further, it would potentially cause future negative impacts for emergency vehicles and require future infrastructure investment for development east of Parcel 4.

We note that a proposal to combine Parcel 5 with the adjacent parcel would alleviate the frontage and access issue. Absent a proposal to combine the lots, we do not see a way to amend the site plan that is in the City's interest. Given the above, we recommend that Planning Commission deny the request to amend the site plan.

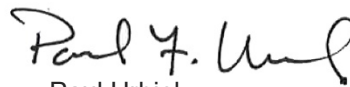
Please contact us with any questions. Thank you.

Respectfully submitted,

McKENNA


Sarah Traxler, AICP

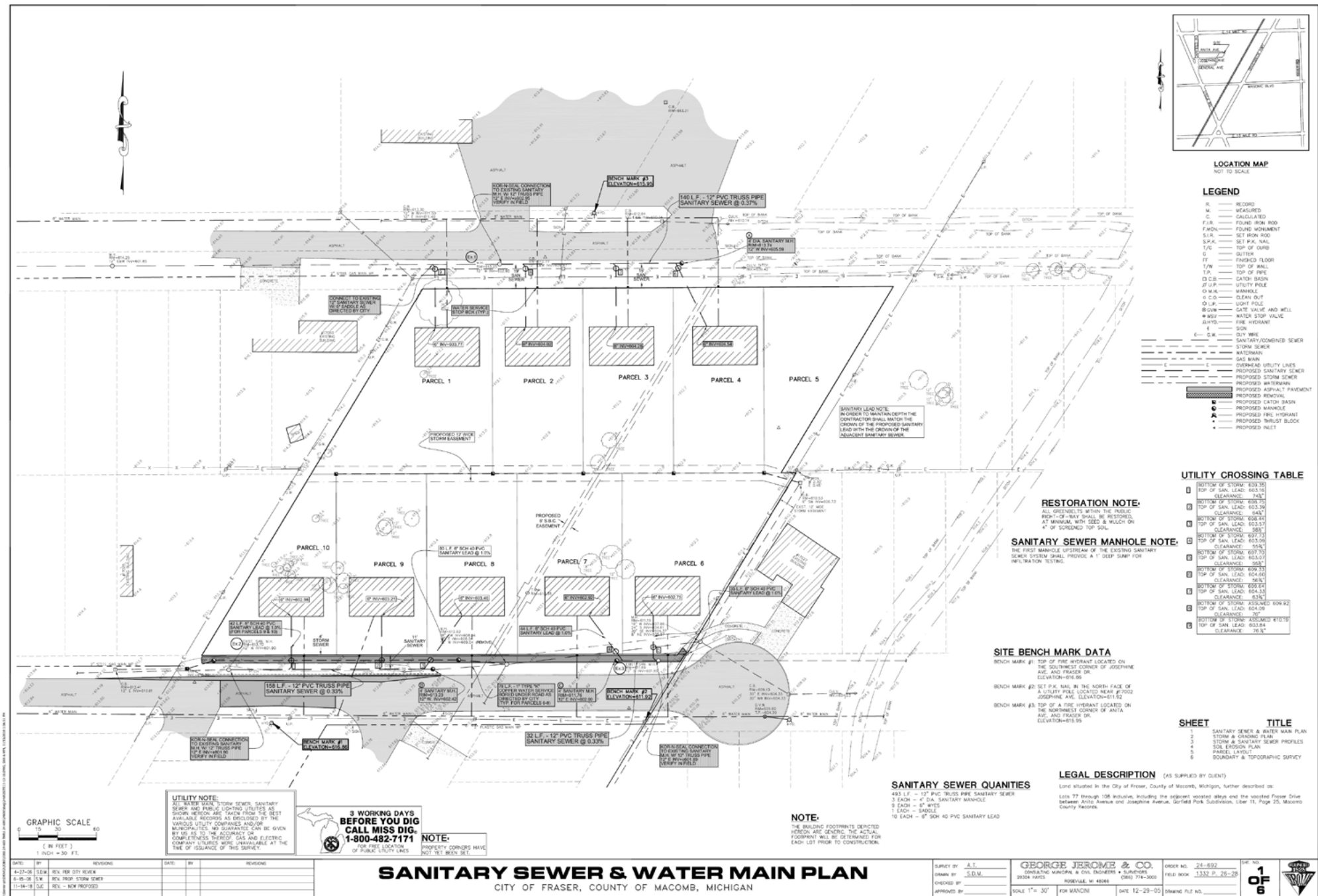
Vice President


Paul Urbiel

Senior Principal Planner

Cc: Applicant
City of Fraser: Building Official and Building Clerk
O'Reilly Rancilio
AEW Engineering

AS-BUILT / PROPOSED AMENDMENT

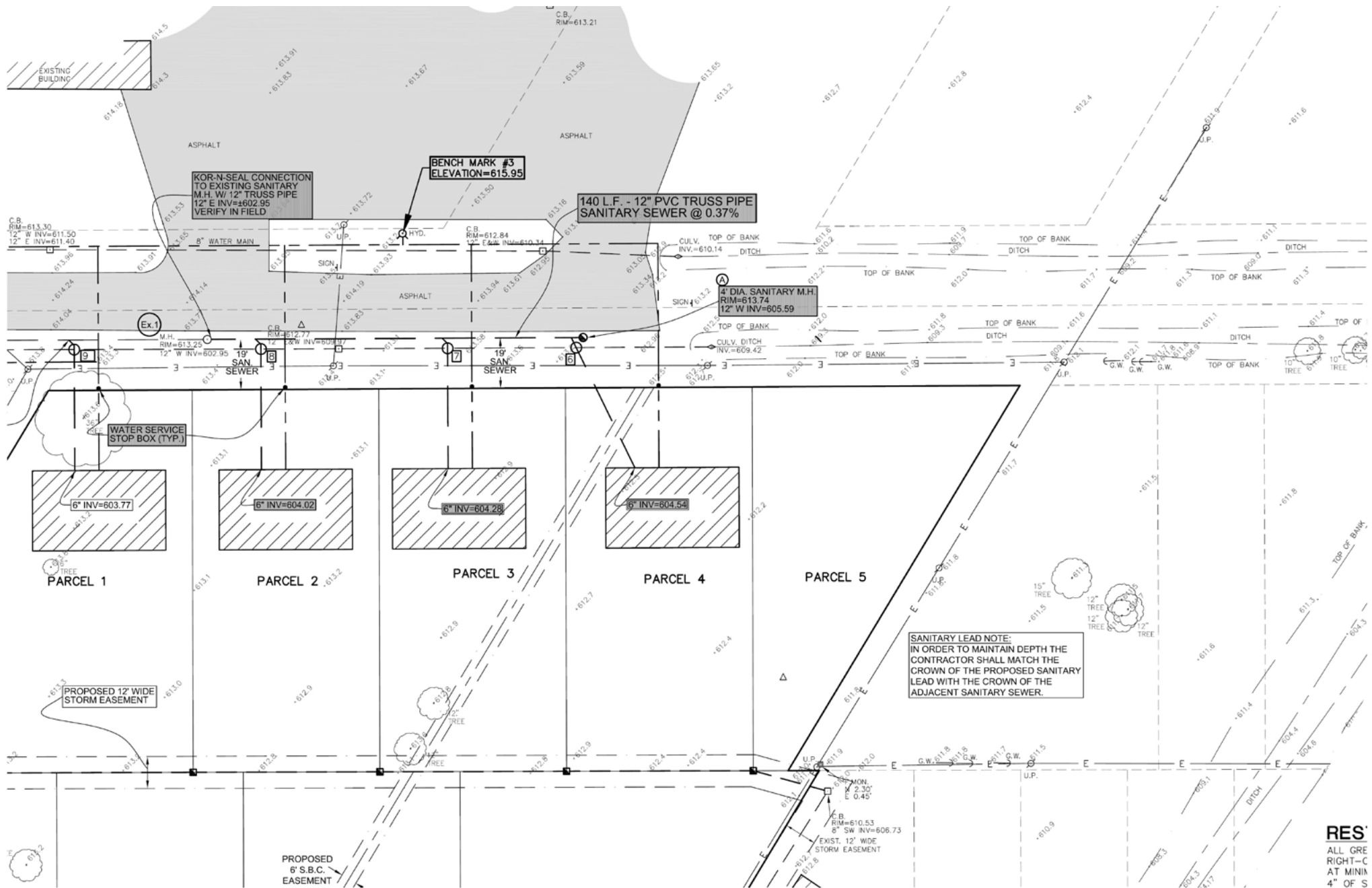


SANITARY SEWER & WATER MAIN PLAN

CITY OF FRASER, COUNTY OF MACOMB, MICHIGAN

SURVEY BY: J.T.	GEORGE JEROME & CO.	ORDER NO. 24-692	SHEET NO. 1 OF 6
DRAWN BY: S.D.M.	28204 HAVES	FIELD BOOK 1332 P. 25-26	
CHECKED BY:	ROSELAND, MI 48061	(586) 774-3000	
APPROVED BY:	SCALE 1" = 30'	FOR MANHOLE	DATE 12-29-05
			DRAWING FILE NO.

AS-BUILT / PROPOSED AMENDMENT





ANDERSON, ECKSTEIN & WESTRICK, INC.

CIVIL ENGINEERS SURVEYORS ARCHITECTS

51301 Schoenherr Road
Shelby Township, MI 48315

586.726.1234
www.aewinc.com

January 28, 2019

Jim Wright
Building Official
City of Fraser
33000 Garfield Road
Fraser, Michigan 48026

Reference: Site Plan Review
 Garfield Park Sub
 City of Fraser
 AEW Project No. 0190-0306

Dear Mr. Wright:

We understand the applicant is submitting a revised site plan for a site that was previously approved. We also understand this development is almost entirely built. With the current state of the development in mind, we have completed our review of the above referenced site plan and offer the following comments:

Utilities

1. An enclosed storm sewer outlet is available on the east end of the site on Josephine. Open ditches currently exist on Anita. Drainage improvements on Anita would be necessary if the applicant intends to direct rear yard drainage towards Anita.

The applicant utilized the outlet on Josephine.

2. A 6" water main is located on the south side of Josephine and is available to serve the subject site. An 8" water main is located on the north side of Anita across part of the frontage of the subject site. This water main should be extended to the east end of the subject site as part of this development to provide service to the proposed lots and to provide for future extension. In addition, this dead end main is already over 500' long and consideration should be made to connecting to the existing main on Anita east of the Sweeney Drain or looping the water main down to Josephine to improve fire flow and water reliability.

The water main along Anita was never extended, and the water services were run at an angle to tie into the existing water main.

3. Sanitary sewers are located along the north side of Josephine, with upstream manholes near the easterly property line flowing west and westerly property line flowing east, which may be available to serve the subject site. The easterly manhole is tributary to a pump station and the availability of this outlet would need to be evaluated during engineering review. Sanitary sewer should be extended along Josephine to serve the proposed lots.

Re: Anita Ave. Water/Sewer installation of Garfield Park Subdivision

Date 10/12/18

To whom it may concern:

This memo is with regards to the development of Garfield Park subdivision as designed and approved June 19th, 2006. The plan shows water, sewer and road pavement on Anita Ave. extending east to the end of parcel 5 of submitted engineering plans.

Due to events beyond control, the site has been halted at the east end of Parcel 4. It is therefore requested that the site plan be revised to show the improvements on Anita Ave. as they are.

Please feel free to contact me for with any questions or information you may have.

Regards

Max Mancini

Max Built LLC

586-415-7355



Jim Wright
January 28, 2019
Page 2

An upstream sanitary manhole is located on the south side of Anita near the westerly property line of the subject site. This sanitary sewer should be extended to the easterly property line to provide service to the subject lots and for possible future extension.

Sanitary sewer was extended to the east and west along Josephine to serve Lots 6-10. Sanitary sewer was extended along Anita to the westerly edge of Lot 4. No public sewer exists in front of Lot 5. Any future extension of sanitary sewer to serve parcels to the east of the subject site will require construction in front of Lots 4 and 5.

Permits

1. A soil erosion permit will need to be obtained for the Macomb County Public Works Soil Erosion and Sedimentation Control Division.

This permit was obtained.

2. A sanitary sewer and water main permit will be required from the MDEQ.

These permits were obtained, but the public utilities were not constructed as originally proposed and permitted.

General

1. Anita Road should be extended to the easterly end of the property to serve the proposed lots. In addition, a cul-de-sac or hammerhead style turn around should be constructed to accommodate fire trucks, garbage trucks, etc., and provide for possible future extension for parcels to the east.
2. Sidewalk should be provided across the frontage of all proposed lots. Accessible routes and sidewalk ramps shall be constructed in accordance with the requirements of the Americans with Disabilities Act (ADA).
3. There is mapped floodplain from the Sweeney Drain encumbering portions of all of the proposed lots along Anita and should be shown on the site plan.

Sincerely,

Michael A. Vigneron, PE

cc: Nick Schaefer, DPW Supervisor
Sarah Traxler, McKenna

7. Unfinished Business

Administration Report/Follow Up on Site Plan
Administration Post-Planning Commission
Approval

Contents:

1. Staff Memo



Memorandum

TO: Fraser Planning Commission
FROM: Paul Urbiel, AICP
SUBJECT: Development Review Process After Site Plan Approval
DATE: July 27, 2021

At the June Planning Commission meeting, the Commission requested a report from the administration regarding:

- Availability and use by the Planning Commission and City Administration of performance guarantees, bonds, cash deposits and irrevocable letters of credit to ensure that developers and owners comply with all of the approval conditions and requirements, especially in connection with completion of improvements (1) required by the Planning Commission's site plan approval, or (2) that have not yet been completed but are required to be finished as a condition of issuance of a temporary certificate of occupancy.
- The City Administration's process for follow-up and shepherding development projects after site plan approval.

PERFORMANCE GUARANTEES AND OTHER DEVICES TO GUARANTEE COMPLIANCE

Per discussion at the June meeting, Mr. Andrews researched and provided the following pertinent provisions that are already available to the Planning Commission and the City Administration per ordinances in effect. We are happy to discuss thoughts, questions or recommendations you may have about the utilization of these devices.

Sec. 111.3 Temporary occupancy. [International Building Code]

The *building official* is authorized to issue a temporary certificate of occupancy before the completion of the entire work covered by the *permit*, provided that such portion or portions shall be occupied safely. The *building official* shall set a time period during which the temporary certificate of occupancy is valid.

Sec. 32-104. - Review procedures. [Zoning Ordinance --Site Plan Review Section]

(d) *Performance bonds*. Where the planning commission finds it is appropriate, for reasons stated in writing, to the satisfactory completion of the site development in accordance with the site plan, the commission may require a cash deposit or irrevocable bank letter of credit acceptable to the city, covering the estimated cost of improvements associated with a project for which the site plan approval is sought, be deposited with the clerk of the city to ensure faithful completion of the improvements. The performance guarantee shall be deposited at the time of the issuance of the permit authorizing the activity or project, and any cash deposits shall be rebated in reasonable proportion to the ratio of work completed on the required improvements as work progresses.

Sec. 32-248. - Temporary certificate of occupancy. [Zoning Ordinance-- Administrative Section]

The building official may issue a temporary certificate of occupancy for a part of a building prior to the occupation of the entire building, provided such temporary certificate shall not remain in force for a period in excess of six (6)



months nor more than five (5) days after the building is fully completed and ready for occupancy; and provided, further, that the owners provide a performance guarantee at the time of occupancy and shall execute and sign a statement of willingness to comply with all conditions set forth in the certificate under penalty of revocation thereof.

There are other provisions in the Code dealing with more specific situations (such as demolition, moving buildings, etc.) that are not generally pertinent to the concerns of the Planning Commission.

DEVELOPMENT REVIEW PROCESS POST SITE PLAN APPROVAL

The chart below illustrates the process for shepherding development from site plan approval to certificate of occupancy. The City Planner, Building Official, City Attorney and other departments as the case arise all have roles in ensuring the approved site plan is realized as it was proposed and approved, and that pertinent conditions have been fulfilled.

After site plan approval:

- The Planner and other departments as appropriate work with the applicant to facilitate the fulfillment of approval conditions. This typically happens concurrently with the preparation of permit drawings.
- When permit drawings are submitted, in addition to plan reviews for compliance with building and other applicable codes, the Planner reviews the drawings for compliance with the site plan approval. This step is key to ensuring that zoning compliance remains intact.

During construction:

- In addition to trade inspections, the Planner and Building Official will also do a site walk to verify conditions.
- Before a permanent Certificate of Occupancy is issued and bond is released to the applicant, there is a final check of zoning and site plan approval requirements.

We are working to overcome some gaps in the above process for projects currently in process, and we are adhering to this process going forward to ensure no such gaps occur in the future.

We look forward to discussing this with you at the August Planning Commission meeting. Please feel free to let me know if you have any further questions or concerns before then.



**City of Fraser:
Development Review Process Post-Site
Plan Approval**

